Council Offices, Almada Street
Hamilton, ML3 0AA

Friday, 06 December 2019

Dear Councillor

Planning Local Review Body

The Members listed below are requested to attend a meeting of the above Committee to be held as follows:-

Date: **Monday, 16 December 2019**
Time: **10:30**
Venue: **Committee Room 5, Council Offices, Almada Street, Hamilton, ML3 0AA**

The business to be considered at the meeting is listed overleaf.

Yours sincerely

Paul Manning
Depute Chief Executive

Members
Isobel Dorman (Chair), Mark Horsham (Depute Chair), Alex Allison, Maureen Devlin, Ann Le Blond, Davie McLachlan, Graham Scott, David Shearer, Jim Wardhaugh

Substitutes
John Bradley, Walter Brogan, Jackie Burns, Stephanie Callaghan, Margaret Cowie, Martin Lennon, Katy Loudon, Kenny McCreary, Lynne Nailon, Collette Stevenson

BUSINESS

1	**Declaration of Interests**	
2	**Minutes of Previous Meeting** Minutes of the meeting of the Planning Local Review Body held on 18 November 2019 submitted for approval as a correct record. (Copy attached)	3 - 6

Item(s) for Decision

3	**Review of Case - Application P/19/0316 for Erection of 2 Storey Side Extension with Associated Alterations at 15 Reay Avenue, East Kilbride** Report dated 3 December 2019 by the Executive Director (Finance and Corporate Resources). (Copy attached)	7 - 10
3a	**Appendix 1 Planning Application Form**	11 - 18
3b	**Appendix 2 Report of Handling**	19 - 28
3c	**Appendix 3 Site Photographs and Location Plan**	29 - 36
3d	**Appendix 4 Planning Decision Notice and Reasons for Refusal**	37 - 44
3e	**Appendix 5 Notice of Review**	45 - 72
3f	**Appendix 6 Further Representations**	73 - 82

Urgent Business

4 Urgent Business
Any other items of business which the Chair decides are urgent.

For further information, please contact:-

Clerk Name: Pauline MacRae
Clerk Telephone: 01698 454108
Clerk Email: pauline.macrae@southlanarkshire.gov.uk

PLANNING LOCAL REVIEW BODY (PLRB) 2

Minutes of meeting held in Committee Room 5, Council Offices, Almada Street, Hamilton on 18 November 2019

Chair:
Councillor Isobel Dorman

Councillors Present:
Councillor Alex Allison, Councillor Maureen Devlin, Councillor Mark Horsham (Depute), Councillor Ann Le Blond, Councillor Davie McLachlan, Councillor Graham Scott, Councillor David Shearer

Councillor's Apology:
Councillor Jim Wardhaugh

Attending:
Community and Enterprise Resources
B Darroch, Planning Adviser to the Planning Local Review Body
Finance and Corporate Resources
P MacRae, Administration Officer; K Moore, Legal Adviser to the Planning Local Review Body

1 Declaration of Interests

No interests were declared.

2 Minutes of Previous Meeting

The minutes of the meeting of the Planning Local Review Body held on 7 October 2019 were submitted for approval as a correct record.

The PLRB decided: that the minutes be approved as a correct record.

3 Review of Case – Application P/18/1720 for Change of Use of Premises from Industrial Unit (Class 5 General Industrial) to Dance Hall (Class 11 Assembly and Leisure) (Retrospective) at Unit 29, John Hillhouse Industrial Estate, 211 Cambuslang Road, Cambuslang

A report dated 24 October 2019 by the Executive Director (Finance and Corporate Resources) was submitted on a request for a review of the decision taken by officers, in terms of the Scheme of Delegation, in respect of the condition attached to the grant of planning consent for planning application P/18/1720 by M Dempster, on behalf of John Hillhouse (Plant Hire) Limited, for the change of use of industrial premises (Class 5 General Industrial) to dance hall (Class 11 Assembly and Leisure) (retrospective) at Unit 29, John Hillhouse Industrial Estate, 211 Cambuslang Road, Cambuslang. The condition restricted the operating hours of the dance hall to 15.30 to 21.30 on weekdays and 9.00 to 13.00 on Saturday and Sunday. The applicant wished the conditioned operating hours to be replaced with 10.00 to 21.30 on weekdays and 10.00 to 20.00 on Saturday and Sunday.

To assist the PLRB in its review, copies of the following information had been appended to the report:-

- planning application form
- report of handling by the planning officer under the Scheme of Delegation together with responses from statutory consultees

- site photographs and location plan
- decision notice
- notice of review, including the applicant's statement of reasons for requiring the review
- further submissions from interested parties following notification of the request for the review of the case
- comments from the applicant on the further submissions received from the interested parties

The PLRB also heard the Planning Adviser in relation to the case.

The relevant drawings in relation to the review were available for inspection prior to and at the meeting of the PLRB.

On the basis of the above, the PLRB considered it had sufficient information to allow it to proceed to determine the review. The options available to the PLRB were to uphold, reverse or vary the decision taken in respect of the application under review.

In reviewing the case, the PLRB considered:-

- the information submitted by all parties
- the relevant policies contained in the Adopted South Lanarkshire Local Development Plan and associated Supplementary Guidance (SG):-
  - Policy 4 – development management and place making
  - Policy 7 – employment
  - Industrial and Commercial Development Supplementary Guidance - Policy ICD2 – (other employment land use areas)
- the relevant policies contained in the Proposed South Lanarkshire Local Development Plan 2:-
  - Policy 5 – development management and place making
  - Policy 8 – employment
  - Policy ICD3 – other employment land use areas

Following its review of the information and after discussion, the PLRB concluded that the proposal to extend the hours of operation of the dance hall would not have an adverse impact on the operation of the surrounding industrial estate in terms of parking, access or road safety issues.

The PLRB decided: that the decision taken by officers, in terms of the Scheme of Delegation, to grant planning permission (with a condition) for planning application P/18/1720 by M Dempster, on behalf of John Hillhouse (Plant Hire) Limited, for the change of use of industrial premises (Class 5 General Industrial) to dance hall (Class 11 Assembly and Leisure) (retrospective) at Unit 29, John Hillhouse Industrial Estate, 211 Cambuslang Road, Cambuslang be varied and that the application be granted subject to the amended condition attached as an appendix to this minute.

4 Urgent Business

There were no items of urgent business.

Appendix

Application Number P/18/1720
Change of use of premises from industrial unit (Class 5 General Industrial) to dance hall (Class 11 Assembly and Leisure) (retrospective) at Unit 29, John Hillhouse Industrial Estate, 211 Cambuslang Road, Cambuslang

Condition

1 The dance studio hereby permitted shall not operate outwith the hours of 10.00 to 21.30 on weekdays and 10.00 to 20.00 on Saturday and Sunday

Reason: To safeguard the amenity of the area.

SOUTH LANARKSHIRE COUNCIL

Report

Agenda Item

3

Report to:	**Planning Local Review Body**
Date of Meeting:	**16 December 2019**
Report by:	**Executive Director (Finance and Corporate Resources)**

Subject:	**Review of Case – Application P/19/0316 for Erection of 2 Storey Side Extension with Associated Alterations**

1. Purpose of Report

1.1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation, on the following application:-

1.2. ***Summary Application Information***

Application Type:	Detailed Planning Permission
Applicant:	D Haughey
Proposal:	Erection of 2 Storey Side Extension with Associated Alterations
Location:	15 Reay Avenue, East Kilbride, G74 1QT
Council Area/Ward:	08 East Kilbride Central North

1.3. ***Reason for Requesting Review***

X	Refusal of Application		Conditions imposed		Failure to give decision (deemed refusal)

2. Recommendation(s)

2.1. The Planning Local Review Body is asked to:-

(1) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-

(a) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied

(b) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed

(2) in the event that further procedure is required to allow it to determine the review, consider:-

(a) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided

(b) what procedure or combination of procedures are to be followed in determining the review

3. Background

3.1. The Council operates a Scheme of Delegation that enables Council officers to determine a range of planning applications without the need for them to be referred to Area Committees or the Planning Committee for a decision.

3.2. In terms of the Town and Country Planning (Scotland) Act 1997, as amended by the Planning etc (Scotland) Act 2006, and the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2013, where an application for planning permission relates to a proposal that falls within the category of "local development" and has been or could have been determined under the Scheme of Delegation, the applicant is entitled to request that the determination be reviewed by the Planning Local Review Body.

4. Notice of Review – Statement of Reasons for Requiring the Review

4.1. In submitting their Notice of Review, the applicant has stated their reasons for requiring a review of the determination in respect of their application. ***(Refer Appendix 5)***

4.2. The applicant is entitled to state a preference for procedure (or combination of procedures) to be followed and has indicated that their stated preference is as follows:-

	Further written submissions		Site inspection
	Hearing session(s)	**X**	Assessment of review documents only, with no further procedure

4.3. However, members will be aware that it is for the Planning Local Review Body to determine how a case is reviewed.

5. Information Available to Allow Review of Application

5.1. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

5.2. The following information is appended to this report to assist the Planning Local Review Body in its review of the decision taken by officers:-

- Planning Application Form ***(Appendix 1)***
- Report of Handling by the Planning Officer under the Scheme of Delegation ***(Appendix 2))***
- Site photographs and location plan ***(Appendix 3)***
- Decision notice ***(Appendix 4)***
- Notice of Review including statement of reasons for requiring the review ***(Appendix 5)***

5.3. Copies of the relevant drawings are available for inspection within Administration Services prior to the meeting and will be available for reference at the meeting of the Planning Local Review Body.

6. Notice of Review Consultation Process

6.1. A Statement of Observations from the Planning Officer on the Applicant's Notice of Review, was received in the course of the 14 day period from the date on which notification of the request for a review of the case was given. This is listed at and attached as ***Appendix 6***.

6.2 The applicant had the opportunity to comment on the further representation received, however, no comments were received from the applicant's agent.

Paul Manning
Executive Director (Finance and Corporate Resources)

3 December 2019

Link(s) to Council Values/Ambitions/Objectives

- Work with communities and partners to promote high quality, thriving and sustainable communities
- Accountable, effective, efficient and transparent

Previous References

None

List of Background Papers

- Guide to the Planning Local Review Body

Contact for Further Information

If you would like to inspect the background papers or want further information, please contact:-

Pauline MacRae, Administration Officer
Ext: 4108 (Tel: 01698 454108)
E-mail: pauline.macrae@southlanarkshire.gov.uk

Appendix 1

3a

Planning Application Form

3a

SOUTH LANARKSHIRE COUNCIL

Montrose House 154 Montrose Crescent Hamilton ML3 6LB Tel: 0303 123 1015 Email: planning@southlanarkshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100144222-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Proposed 2 two gable extension to boundary, forming new bedroom, family area , and internal alterations

Has the work already been started and/ or completed? *

☒ No ☐ Yes - Started ☐ Yes – Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application) ☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Bm Design		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	BRIAN	Building Name:	East Kilbride business centre
Last Name: *	MCATEER	Building Number:	14
Telephone Number: *	[redacted]	Address 1 (Street): *	East Kilbride Business Centre (RM 55)
Extension Number:		Address 2:	Kelvin Indutrial Estate
Mobile Number:		Town/City: *	East Kilbride
Fax Number:		Country: *	Scotland
		Postcode: *	G75 0YA
Email Address: *	[redacted]		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Derek	Building Number:	15
Last Name: *	Haughey	Address 1 (Street): *	Reay Avenue
Company/Organisation		Address 2:	Springbank
Telephone Number: *	[redacted]	Town/City: *	East Kilbride
Extension Number:		Country: *	South Lanarkshire
Mobile Number:	[redacted]	Postcode: *	G74 1QT
Fax Number:			
Email Address: *	[redacted]		

Site Address Details

Planning Authority: South Lanarkshire Council

Full postal address of the site (including postcode where available):

Address 1:

Address 2: 15 REAY AVENUE

Address 3: EAST KILBRIDE

Address 4:

Address 5:

Town/City/Settlement: GLASGOW

Post Code: G74 1QT

Please identify/describe the location of the site or sites

Northing 654669 Easting 261974

Pre-Application Discussion

Have you discussed your proposal with the planning authority? * ☒ Yes ☐ No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

☒ Meeting ☒ Telephone ☐ Letter ☐ Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

I had a meeting with Andrew as this is now a modified design from the original , adopting what Andrew requested. We have stepped the front back approx. 1m, we have stepped the ridge down at the roof line, we have created a wheelie bin area storage at the front and also formed 3 car parking spaces to the front. There are another 3 houses in the same street elevation that have the same build line and foot print and bin area. Andrew agreed that this was acceptable.

Title:	Mr	Other title:	
First Name:	Andrew	Last Name:	Muir
Correspondence Reference Number:		Date (dd/mm/yyyy):	10/02/2019

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Trees

Are there any trees on or adjacent to the application site? * ☐ Yes ☒ No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? * ☐ Yes ☒ No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? * ☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? * ☒ Yes ☐ No

Is any of the land part of an agricultural holding? * ☐ Yes ☒ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: BRIAN MCATEER

On behalf of: Mr Derek Haughey

Date: 27/02/2019

☒ Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) Have you provided a written description of the development to which it relates?. * ☒ Yes ☐ No

b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * ☒ Yes ☐ No

c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent.? * ☒ Yes ☐ No

d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. ☒ Yes ☐ No

e) Have you provided a certificate of ownership? * ☒ Yes ☐ No

f) Have you provided the fee payable under the Fees Regulations? * ☒ Yes ☐ No

g) Have you provided any other plans as necessary? * ☒ Yes ☐ No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

☒ Existing and Proposed elevations.

☒ Existing and proposed floor plans.

☒ Cross sections.

☒ Site layout plan/Block plans (including access).

☒ Roof plan.

☐ Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. ☐ Yes ☒ No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * ☐ Yes ☒ No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr BRIAN MCATEER

Declaration Date: 27/02/2019

Appendix 2

3b

Report of Handling

Report dated 8 July 2019 by the Council's Authorised Officer under the Scheme of Delegation

SOUTH LANARKSHIRE COUNCIL	Delegated Report	Reference no.	P/19/0316 3b
		Date	08 July 2019

Planning proposal:	Erection of two storey side extension with associated alterations
Location:	15 Reay Avenue East Kilbride G74 1QT

Application Type :	Householder
Applicant :	Mr Derek Haughey
Location :	15 Reay Avenue East Kilbride G74 1QT
Decision:	Application refused

Report by: Area Manager (Planning & Building Standards)

Policy reference:
South Lanarkshire Local Development Plan (adopted 2015)
Policy 4 - Development management and placemaking
Policy 6 - General urban area/settlements

Development management, placemaking and design supplementary guidance (2015)
Policy DM1 – Design
Policy DM2 - House extensions and alterations

Proposed South Lanarkshire Local Development Plan 2
Policy 3 - General Urban Areas and Settlements
Policy 5 - Development Management and Placemaking
Policy DM1 – New Development Design
Policy DM2 - House Extensions and Alterations

Assessment:

Impact on privacy?	No
Impact on sunlight/daylight?	No
Impact on amenity?	Yes
Traffic issues?	No
Adheres to development plan policy?	No
Adverse comments from consultees?	No

Representation(s):

►	0	Objection letters
►	0	Support letters
►	0	Comment letters

Planning Application Delegated Report

1 Application Summary

1.1 The applicant seeks detailed planning consent for the erection of a two storey side extension to an existing semi-detached dwellinghouse at 15 Reay Avenue, East Kilbride. The application site is located within an established residential area.

1.2 In terms of its design, the proposed two storey side extension would project approximately 2.7 metres from the existing side elevation of the property, and it would extend almost the full length of the existing dwellinghouse. It would be set back approximately 0.75m from the existing front building line, and the ridge height would be approximately 0.3m lower than that of the ridge of the dwellinghouse. The extension would be built up to the side boundary, and the agent has advised that the bins would need be stored to the front of the property as there would be no external access to the rear garden. Three parking spaces are shown to the front of the property. However the centre space is significantly smaller than the other two spaces proposed and it does not achieve the minimum dimensions required (2.5m x 5m). It would not be able to be counted as a parking space.

1.3 The extension would allow for an additional bedroom and en-suite to be formed on the upper floor and a 'games room' and studio on the ground floor. One of the existing bedrooms has been re-labelled as a study on the proposed floor plan, however it is recognised that both it and the 'games room' could be used to serve as a bedroom for the applicants or for any future residents of the property. As such, the extension potentially increases the size of the property from a 3 bedroom to a 5 bedroom dwellinghouse.

1.4 On 29th May 2018 the Planning Committee approved the proposed South Lanarkshire Local Development Plan 2 (Volumes 1 and 2) and Supporting Planning Guidance on Renewable Energy. The new plan builds on the policies and proposals contained in the currently adopted South Lanarkshire Local Development Plan. For the purposes of determining planning applications the proposed South Lanarkshire Local Development Plan 2 is now a material consideration. In this instance Policies 3, 5, DM1 and DM2 are relevant.

2 Representation(s)

2.1 Statutory neighbour notification was undertaken in respect of this application and no letters of representation have been received as a result of this publicity. No formal consultations were required to be undertaken in respect of this proposal.

3 Assessment and Conclusions

3.1 The proposed development requires to be assessed against the provisions of the adopted South Lanarkshire Local Development Plan (SLLDP) and its associated Supplementary Guidance. The proposed development is located within a residential area where Policy 6 of SLLDP applies. Policy 6 – General Urban Area/Settlements states developments will not be permitted if they are detrimental to the amenity of residents. Policy 4 – Development Management and Placemaking of SLLDP also requires all development to take account of, and be integrated with the local context and built form. It provides a list of criteria to be met when assessing development proposals, including ensuring:

- There is no significant adverse impact on adjacent buildings or streetscape in terms of layout, scale, massing, design, external materials or amenity;
- The proposed development is accessible for all, provides suitable access and parking, encourages active travel and has no adverse implications for public safety; and that,

- It accords with other relevant policies and proposals in the development plan and with other appropriate supplementary guidance.

3.2 Policies DM1 – Design and DM2 – House Extensions and Alterations of Supplementary Guidance 3: Development Management, Placemaking and Design (SG3) support Policy 4 of SLLDP and provide further guidance. Policy DM1 requires proposals to meet design policy appropriate to the proposal, in this case Policy DM2. Policy DM2 states that house extensions and alterations will be considered favourably where it can be demonstrated that the proposal meets certain criteria, including ensuring:

- The siting, form, scale, design and materials respect the character of the existing dwelling and the wider area. Within this context, high quality, innovative design will be encouraged when it complements the character of the building and its surroundings;
- It does not dominate or overwhelm the existing dwelling, neighbouring properties or streetscene in terms of size, scale or height; and that,
- It retains adequate car parking, usable garden ground and bin storage within the site.

3.3 In addition to this, further guidance is provided within SG3 on two storey extensions and this includes the criteria that proposals of this type should:

- Be designed and positioned such that no significant loss of amenity occurs to neighbouring properties through overlooking, loss of light, overshadowing or sheer physical impact;
- Not if repeated on detached/semi-detached properties, result in the formation of a continuous terrace; and
- Be set back 1.0m from the front elevation and from side property boundaries by a minimum of 1.0m.

3.4 Following a detailed assessment of this proposal it is considered that it would have a significant adverse impact upon adjacent dwellings and the streetscape in terms of the size and scale of the proposed extension and its proximity to the boundary. The extension would be built up to the boundary and the Council's guidance on two storey extensions states that proposals should be set back from the boundary by a minimum of 1 metre to avoid a potential terracing effect if repeated on neighbouring properties. In addition the proposed extension is not set back sufficiently from the front elevation and the ridge height is only slightly lower than that of the existing roof. As a result the overall scale and mass of the extension is considered to be overdevelopment of the site. The size of the proposed extension would be out of character with other properties in the street, and the proposal would have an adverse impact upon the streetscape of the area.

3.5 The size of the proposed extension also results in bin storage for the property being required to the front as there is no external access to the rear garden. Four waste bins would need to be stored at the front. No details have been provided of screening to minimise the visual impact of this. In addition, a property of this size requires the provision of a minimum of 3 off-street parking spaces (minimum 2.5m x 5m dimension), and only two spaces can be provided on this basis. A third space is indicated on the drawings, however it is too short to be considered as a space and the location in relation to the front door is such that it could not be practically used even by a shorter than average vehicle. It would also require the front garden to fully hard surfaced to the detriment of the visual amenity of the area. It is for these reasons that the proposal is considered to be contrary to the adopted South Lanarkshire Local Development Plan and its Supplementary Guidance.

3.6 The agent has provided examples of other side extensions within the local area. However none of these examples were directly comparable to this proposal. The applicant's property is positioned further forward in the plot to many other dwellings within the estate,

limiting the depth of the front garden and there is limited curtilage to the side to extend. In assessment of the examples provided by the agent and applicant none of the examples exhibited the same site characteristics or positioning within the plot and streetscene. As such, none of these examples are considered to result in a terracing effect or a material change to the streetscape. Furthermore there is appropriate parking to serve these enlarged properties. For these reasons, I cannot agree that the proposed extension is directly comparable to these proposals or that they would justify a departure from the adopted South Lanarkshire Local Development Plan and its associated Supplementary Guidance.

3.7 The proposed development has also been considered against the relevant policies in the proposed South Lanarkshire Local Development Plan 2 (SLLDP2) and it is noted that these policies are broadly consistent with the current adopted South Lanarkshire Local Development Plan 1. It is therefore considered that the proposal is also contrary to Policies 3, 5, DM1 and DM2 in the proposed SLLDP2.

3.8 Throughout the assessment of this application a number of alternative proposals were discussed with the agent to attempt to resolve some of the concerns expressed by the Planning Service. However no agreement could be reached on these and the applicant's agent has confirmed the final set of drawings to be considered in the assessment of this proposal. The relevant policies of SLLDP and the proposed SLLDP2 have been fully considered against these and for the reasons detailed above the proposed development is considered to be unacceptable.

3.9 It is therefore considered that the proposal would have a significant adverse impact upon adjacent dwellings and the streetscape in terms of the size, scale and design of the proposed extension and its proximity to the boundary. As such, the proposal would be detrimental to the residential amenity of the area and does not comply with the relevant policies of the development plan. Planning consent is therefore refused in this instance.

4 Reason for decision

4.1 Due to its size, scale and design, the proposal is considered to be overdevelopment of the site and contrary to the adopted South Lanarkshire Local Development Plan and Supplementary Guidance (Policies 4, 6, DM1 and DM2) and the proposed South Lanarkshire Local Development Plan 2 (Policies 3, 5, DM1 and DM2). There are no material considerations that would justify a departure from the development plan.

Delegating officer: Gwen McCracken

Date: 8 July 2019

Previous references

- None

List of background papers

- Application Form
- Application Plans
- South Lanarkshire Local Development Plan 2015 (adopted)
- Development management placemaking and design supplementary guidance (2015)
- Proposed South Lanarkshire Local Development Plan 2
- Neighbour notification letter dated 12 March 2019
- Correspondence with agent, various dates

Contact for further information

If you would like to inspect the background papers or want further information, please contact:-

Andrew Muir, Planning Officer, Montrose House, 154 Montrose Crescent, Hamilton, ML3 6LB
Phone: 01698 455058
Email: andrew.muir2@southlanarkshire.gov.uk

Planning Application
Application number: P/19/0316

Reasons for refusal

01. The proposal is contrary to Policies 4 and 6 of the adopted South Lanarkshire Local Development Plan as it will have a detrimental impact on residential amenity due to the size, scale and design of the proposed extension and its proximity to the boundary. It will also result in inappropriate parking arrangements and bin storage to serve the enlarged dwellinghouse to the detriment of the amenity of the area and will not accord with the other relevant policies contained within the adopted South Lanarkshire Local Development Plan and Supplementary Guidance.

02. The proposal is contrary to Policies DM1 and DM2 of the Development Management, Placemaking and Design Supplementary Guidance as the siting, form, scale and design of the proposed extension does not respect the character of the existing dwelling and the wider area and may result in the formation of a continuous terrace as the extension has not been set back 1 metre from the front elevation and from the side boundary. It is overdevelopment of the site as it will result in inappropriate parking arrangements and bin storage and will not accord with the other relevant policies contained within the adopted South Lanarkshire Local Development Plan and Supplementary Guidance.

03. The proposal is contrary to Policies 3, 5, DM1 and DM2 of the Proposed South Lanarkshire Local Development Plan 2 as it will have a detrimental impact on residential amenity due to the size, scale and design of the proposed extension and its proximity to the boundary. It will also result in inappropriate parking arrangements and bin storage to serve the enlarged dwellinghouse to the detriment of the amenity of the area.

Reason(s) for decision

Due to its size, scale and design, the proposal is considered to be overdevelopment of the site and contrary to the adopted South Lanarkshire Local Development Plan and Supplementary Guidance (Policies 4, 6, DM1 and DM2) and the proposed South Lanarkshire Local Development Plan 2 (Policies 3, 5, DM1 and DM2). There are no material considerations that would justify a departure from the development plan.

Informatives

01. This decision relates to drawing numbers:

Reference	Version No:	Plan Status
1 of 12	B	Approved
2 of 12	B	Approved
3 of 12	C	Approved
4 of 12	B	Approved
5 of 12	B	Approved
6 of 12	B	Approved
7 of 12	C	Approved
8 of 12	C	Approved

9 of 12	C	Approved
10 of 12	C	Approved
11 of 12	B	Approved
12 of 12	C	Approved

Appendix 3

3c

Site photographs and location plan

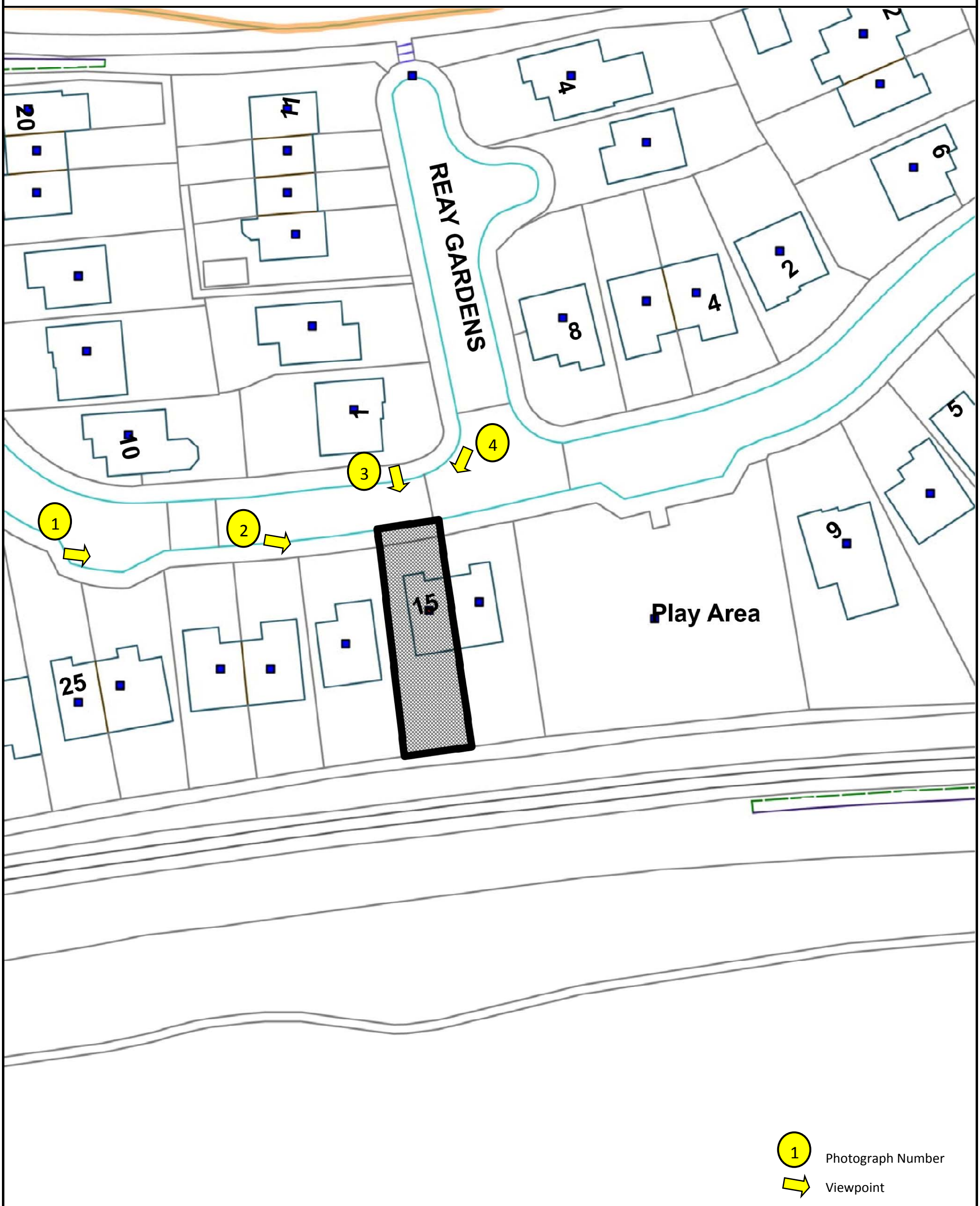
Photograph 1

Photograph 2

Photograph 3

Photograph 4

Planning Application P/19/0316
15 Reay Avenue, East Kilbride, G74 1QT



© Crown copyright and database rights 2019 OS 100020730. You are permitted to use this data solely to enable you to respond to, or interact with, the organisation that provided you with the data. You are not permitted to copy, sub-licence, distribute or sell any of this data to third parties in any form.

N

Scale: 1:625

Date: 28/10/2019

South Lanarkshire Council
Community and Enterprise Resources
Planning and Economic Development

Appendix 4

3d

Planning Decision Notice and Reasons for Refusal

3d

Community and Enterprise Resources
Executive Director **Michael McGlynn**
Planning and Economic Development

Brian McAteer
BM Design
14 East Kilbride Business Centre (RM 55)
Kelvin Industrial Estate
East Kilbride
G75 0YA

Our Ref: P/19/0316
Your Ref:
If calling ask for: Andrew Muir
Date: 8 July 2019

Dear Sir/Madam

Proposal:	Erection of two storey side extension with associated alterations
Site address:	15 Reay Avenue, East Kilbride, G74 1QT
Application no:	P/19/0316

I would advise you that the above application was refused by the Council and I enclose the decision notice which sets out the reasons for refusal. Please note that the Council does not issue paper plans with the decision notice. The application is refused in accordance with the plans and any other documentation listed in the reasons for refusal imposed on the accompanying decision notice and which can be viewed using the Council's online planning application search at www.southlanarkshire.gov.uk

If you require a hard copy of the refused plans, please contact us quoting the application number at planning@southlanarkshire.gov.uk.

If you consider that you can overcome the reasons for refusal and that it is not the principle of the development that is unacceptable, you may submit an amended application. If you do amend your proposals and re-apply within one year of this refusal, then you will not have to pay a fee, provided the proposal is of the same character or description as the application which has just been refused.

As your application has been refused, you may appeal against the decision within 3 months of the date of the decision notice. The attached notes explain how you may appeal.

Should you have any enquiries relating to the refusal of your application or a potential amended submission, please contact Andrew Muir on 01698 455058

The Planning Service is undertaking a Customer Satisfaction Survey in order to obtain feedback about how we can best improve our Service to reflect the needs of our customers. The link to the survey can be found here:

If you were the applicant: **http://tinyurl.com/nrtgmy6**

If you were the agent: **http://tinyurl.com/od26p6g**

Montrose House, 154 Montrose Crescent, Hamilton, ML3 6LB
Email andrew.muir2@southlanarkshire.gov.uk Phone: 01698 455058

INVESTOR IN PEOPLE

We would be grateful if you would take a few minutes to answer the questions in the survey based on your experience of dealing with the Planning Service in the past 12 months. We value your opinion and your comments will help us to enhance areas where we are performing well, but will also show us where there are areas of the service that need to be improved.

I do hope you can take part in this Customer Survey and look forward to receiving your comments in the near future. If you prefer to complete a paper version of the survey, please contact us by telephone on 0303 123 1015, selecting option 7, quoting the application number. We will send you a copy of the survey and a pre-paid envelope to return it.

Yours faithfully

Head of Planning and Economic Development

Enc:

Application no.

P/19/0316

Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006

To:	**Mr Derek Haughey**	Per:	**Brian McAteer**
	15 Reay Avenue, East Kilbride, G74 1QT		**14 East Kilbride Business Centre (RM 55), Kelvin Industrial Estate, East Kilbride , G75 0YA**

With reference to your application received on 27.02.2019 for planning permission under the above mentioned Act:

Description of proposed development:
Erection of two storey side extension with associated alterations

Site location:
15 Reay Avenue, East Kilbride, G74 1QT

SOUTH LANARKSHIRE COUNCIL in exercise of their powers under the above mentioned Act hereby:

REFUSE PLANNING PERMISSION

for the above development in accordance with the plan(s) specified in this decision notice and the particulars given in the application, for the reason(s) listed overleaf in the paper apart.

Date: 8th July 2019

Head of Planning and Economic Development

This permission does not grant any consent for the development that may be required under other legislation, e.g. Building Warrant or Roads Construction Consent.

South Lanarkshire Council
Community and Enterprise Resources
Planning and Economic Development

South Lanarkshire Council

Refuse planning permission

Paper apart - Application number: P/19/0316

Reason(s) for refusal:

01. The proposal is contrary to Policies 4 and 6 of the adopted South Lanarkshire Local Development Plan as it will have a detrimental impact on residential amenity due to the size, scale and design of the proposed extension and its proximity to the boundary. It will also result in inappropriate parking arrangements and bin storage to serve the enlarged dwellinghouse to the detriment of the amenity of the area and will not accord with the other relevant policies contained within the adopted South Lanarkshire Local Development Plan and Supplementary Guidance.

02. The proposal is contrary to Policies DM1 and DM2 of the Development Management, Placemaking and Design Supplementary Guidance as the siting, form, scale and design of the proposed extension does not respect the character of the existing dwelling and the wider area and may result in the formation of a continuous terrace as the extension has not been set back 1 metre from the front elevation and from the side boundary. It is overdevelopment of the site as it will result in inappropriate parking arrangements and bin storage and will not accord with the other relevant policies contained within the adopted South Lanarkshire Local Development Plan and Supplementary Guidance.

03. The proposal is contrary to Policies 3, 5, DM1 and DM2 of the Proposed South Lanarkshire Local Development Plan 2 as it will have a detrimental impact on residential amenity due to the size, scale and design of the proposed extension and its proximity to the boundary. It will also result in inappropriate parking arrangements and bin storage to serve the enlarged dwellinghouse to the detriment of the amenity of the area.

Reason(s) for decision

Due to its size, scale and design, the proposal is considered to be overdevelopment of the site and contrary to the adopted South Lanarkshire Local Development Plan and Supplementary Guidance (Policies 4, 6, DM1 and DM2) and the proposed South Lanarkshire Local Development Plan 2 (Policies 3, 5, DM1 and DM2). There are no material considerations that would justify a departure from the development plan.

Notes to applicant

Application number: P/19/0316

Important
The following notes do not form a statutory part of this decision notice. However, it is recommended that you study them closely as they contain other relevant information.

01. This decision relates to drawing numbers:

Reference	Version No:	Plan Status
1 of 12	B	Approved
2 of 12	B	Approved
3 of 12	C	Approved
4 of 12	B	Approved
5 of 12	B	Approved
6 of 12	B	Approved
7 of 12	C	Approved
8 of 12	C	Approved
9 of 12	C	Approved
10 of 12	C	Approved
11 of 12	B	Approved
12 of 12	C	Approved

Appendix 5

3e

Notice of Review (including Statement of Reasons for Requiring the Review) submitted by applicant Mr Derek Haughey

Also including:-

- **Plans submitted with Notice of Review**
- **Letter requesting support from MP**
- **Letter of Support from MP**
- **Application summary (including attachments)**

3e

Montrose House 154 Montrose Crescent Hamilton ML3 6LB Tel: 0303 123 1015 Email: planning@southlanarkshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100144222-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application) ☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Bm Design		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	BRIAN	Building Name:	East Kilbride business centre
Last Name: *	MCATEER	Building Number:	14
Telephone Number: *	[redacted]	Address 1 (Street): *	East Kilbride Business Centre (RM 55)
Extension Number:		Address 2:	Kelvin Indutrial Estate
Mobile Number:		Town/City: *	East Kilbride
Fax Number:		Country: *	Scotland
		Postcode: *	G75 0YA
Email Address: *	[redacted]		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	DEREK	Building Number:	15
Last Name: *	HAUGHEY	Address 1 (Street): *	Reay Avenue
Company/Organisation		Address 2:	Springbank Gardens
Telephone Number: *	[redacted]	Town/City: *	EAST KILBRIDE
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	G74 1QT
Fax Number:			
Email Address: *	[redacted]		

Site Address Details

Planning Authority: South Lanarkshire Council

Full postal address of the site (including postcode where available):

Address 1:	
Address 2:	15 REAY AVENUE
Address 3:	EAST KILBRIDE
Address 4:	
Address 5:	
Town/City/Settlement:	GLASGOW
Post Code:	G74 1QT

Please identify/describe the location of the site or sites

Northing	654669	Easting	261974

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of two storey side extension with associated alterations

Type of Application

What type of application did you submit to the planning authority? *

☒ Application for planning permission (including householder application but excluding application to work minerals).

☐ Application for planning permission in principle.

☐ Further application.

☐ Application for approval of matters specified in conditions.

What does your review relate to? *

☒ Refusal Notice.

☐ Grant of permission with Conditions imposed.

☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are a seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

We have requested a review of the South Lanarkshire Council Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 Refusal of Planning Permission at 15 REAY AVENUE, EAST KILBRIDE, G74 1QT as the original plans have been modified in accordance with the Delegated Report (Ref: P/19/0316) dated 08 July 2019 to address the following issues: Please see the word document attached in "Supporting Documents" titled STATEMENT OF REASONS

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? * ☒ Yes ☐ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please refer to the information included in the STATEMENT OF REASONS document for requiring the review, and the supplemental DOCUMENT IN SUPPORT OF THE PLANNING APPLICATION AT 15 REAY AVENUE, EAST KILBRIDE, TO BUILD A NEW TWO STOREY EXTENSION TO THE EXISTING FAMILY RESIDENCE.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

STATEMENT OF REASONS DOCUMENT IN SUPPORT OF THE PLANNING APPLICATION AT 15 REAY AVENUE, EAST KILBRIDE TO BUILD A NEW TWO STOREY EXTENSION TO THE EXISTING FAMILY RESIDENCE LETTER TO LOCAL MP FOR SUPPORT LETTER OF SUPPORT FROM COUNCILLOR Dr LISA CAMERON MP REVISED PLANNING DRAWINGS

Application Details

Please provide details of the application and decision.

What is the application reference number? *	P/19/0316
What date was the application submitted to the planning authority? *	27/02/2019
What date was the decision issued by the planning authority? *	05/06/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *	☒ Yes ☐ No
Is it possible for the site to be accessed safely and without barriers to entry? *	☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *	☒ Yes ☐ No
Have you provided the date and reference number of the application which is the subject of this review? *	☒ Yes ☐ No
If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *	☒ Yes ☐ No ☐ N/A
Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *	☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *	☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr BRIAN MCATEER

Declaration Date: 08/10/2019

STATEMENT OF REASONS

P/19/0316 - 15, REAY AVENUE, EAST KILBRIDE, G74 1QT

We have requested a review of the South Lanarkshire Council Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 Refusal of Planning Permission at 15 Reay Avenue, East Kilbride, G74 1QT as the original plans have been modified in accordance with the Delegated Report (Ref P/19/0316) dated 08 July 2019 to address the following issues:

DETRIMENTAL IMPACT ON THE RESIDENTIAL AMENITY DUE TO THE SIZE, SCALE AND DESIGN OF THE PROPOSED EXTENSION AND ITS PROXIMITY TO THE BOUNDARY:

- The Plans have been revised and the proposed extension set back 1750mm from the front elevation
- The neighbouring property at 17 Reay Avenue is 1400mm from the boundary line and 15 Reay is 2850mm from the boundary line. We consider it unrealistic that the property at 17 Reay Avenue would consider extending their property towards the boundary line as the potential internal space created would be less than one meter in width.
- The orientation of 15 and 17 Reay Avenue are ste back from each propertys building line and the properties are not coplanar, as indicated in the supplemental Document in Support of the Planning Application, therefore reducing the Planning Authoritys perception of a "continuous terraced effect" if the new extension was constructed in accordance with the revised plans.
- The roof profiles on 15 and 17 Reay Avenue are at 90 degrees as indicated in the supplemental Document of Support of the Planning Application, therefore reducing the Planning Authoritys perception of a "conitnuous terraced effect" if the new extension was constructed in accordance with the revised plans.
- The roof ridge height has been reduced by 140mm on the new extension, as indicated in the supplemental Document in Support of the Planning Application, therefore reducting the Planning Authoritys perception of a "continuous terraced effect" if the new extension was constructed in accordance with the revised plans.

INAPPROPRIATE PARKING ARRANGEMENTS:

- The Proposals are to enhance the living accommodation for a family of two adults and two teenage children, not to create additiona sleeping accommodation. As a result, we have amended the plans to accommodate 2 car parking spaces on the hard-landscaped

amenity to the front of the property. The provision of which is not uncommon throughout East Kilbride to provide additional parking facilities to properties and also enhance the property by providing a low maintenance amenity space for the occupiers.

- The supplemental Document in Support of the Planning Application highlights a neighbouring property at 30 Malcolm Gardens where a two storey extension was erected to the side of the original dwelling house and parking spaces for this property are via a single width parking bay that can accommodate a maximum of two cars parked end to end.

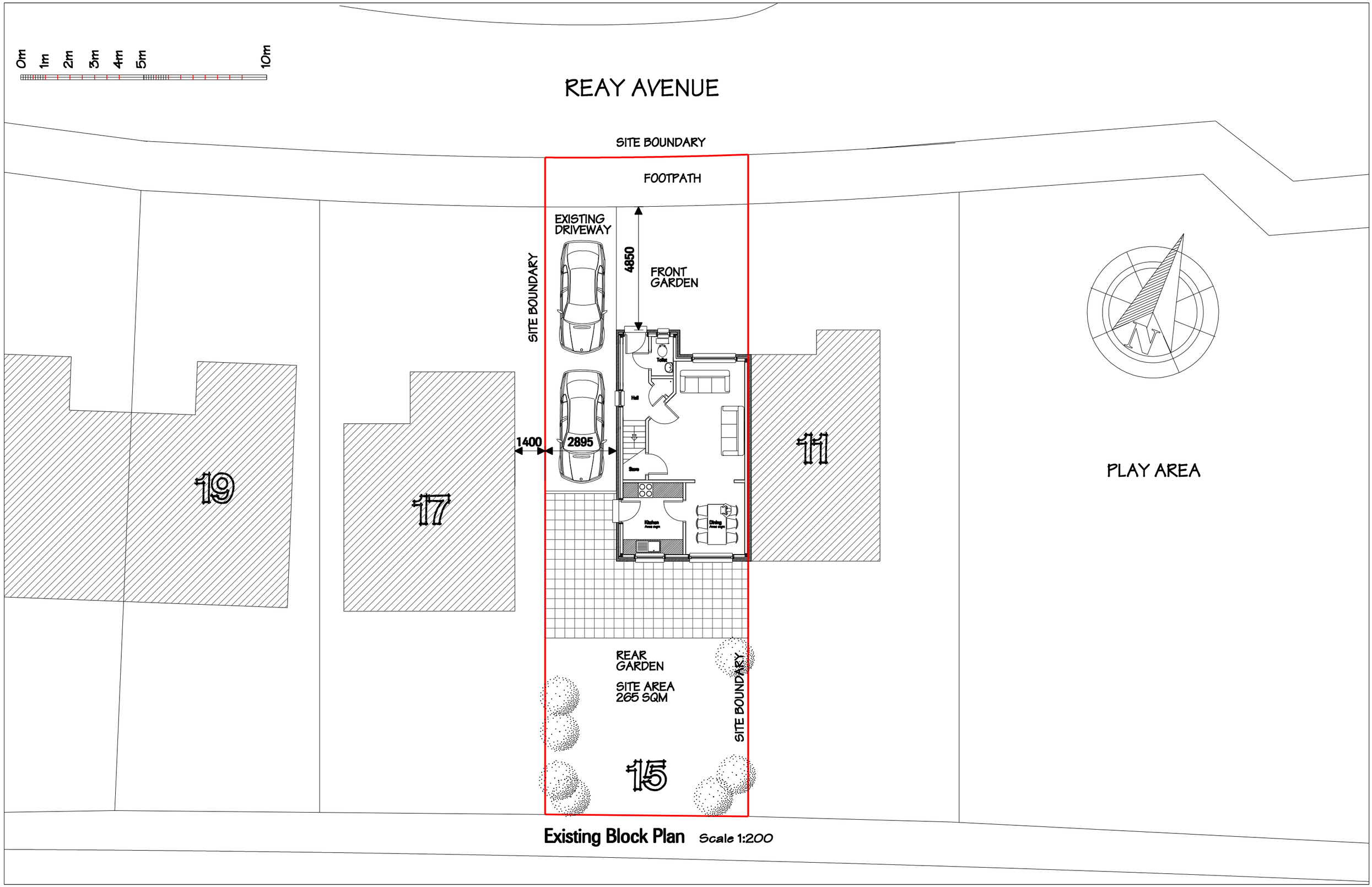
INAPPROPRIATE BIN STORAGE:

- The revised planning application drawings show that the bin storage area will be recessed back from the original property building line and will be screened to minimise the aesthetic impact to the front of the dwelling.

STATEMENT IN SUPPORT OF THE REVISED PLANNING APPLICATION:

The proposed two storey extension to 15 Reay Avenue is to enhance the quality of life and beneficial occupation of a family home for Mr & Mrs Haughey and their teenage son and daughter. The family have lived in this property since it was originally constructed, indeed the parents have lived in East Kilbride all of their lives and this is the only house the children have ever lived in. The Haughey family are an integral part of the community and have devoted significant time and effort to volunteering for local community groups including providing coaching for several local football clubs and fund-raising activities within East Kilbride. The proposed extension is to improve the living accommodation for the children and parents and to cement the familys lifelong ties to the area - as they do not want to have to relocate to another property in another area.

We would therefore respectfully request that South Lanarkshire Council reassess the revised planning application and supplemental Document in Support of the Planning Application at 15 Reay Avenue, East Kilbride, to build a new two storey extension to the existing family residence which have been altered and prepared taking ognisance of the guidance received from South Lanarkshire Councils Planning Department.



Existing Block Plan Scale 1:200

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

SIGNED : Mr & Mrs DEREK HAUGHEY DATED : 18th November 2018

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

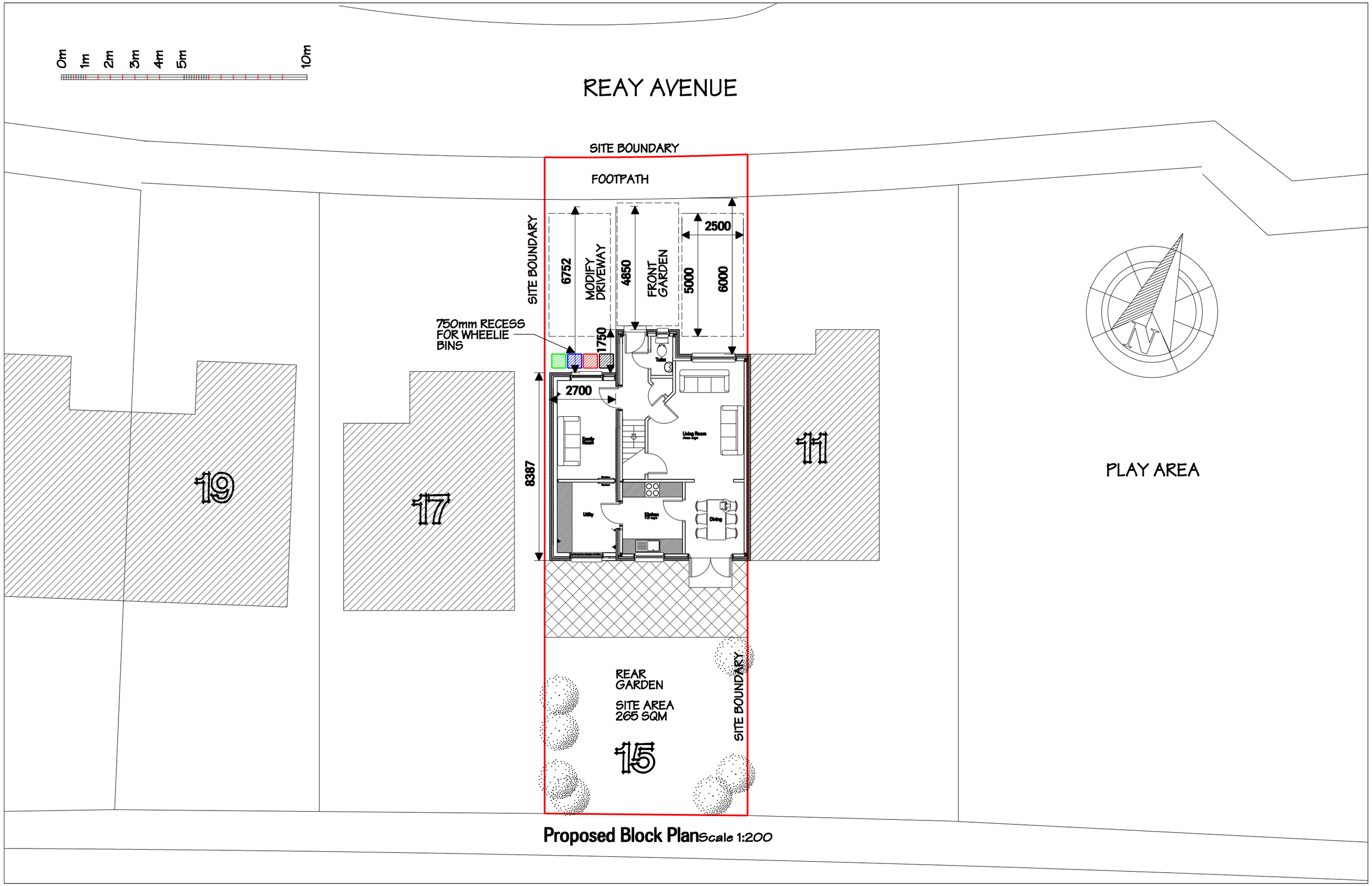
PROJECT PROPOSED 2 STOREY GABLE EXTENSION

TITLE EXISTING BLOCK PLAN

SCALE 1:200

DRG NO. 2 OF 12 REV D

2



Proposed Block Plan Scale 1:200

bm design Room 55 14 STROUD ROAD Kelvin Industrial Estate East Kilbride G75 0YA Tel : 07877269321	THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT SIGNED : Mr & Mrs DEREK HAUGHEY DATED : 18th November 2018	**APPLICANT** Mr & Mrs DEREK HAUGHEY 15 REAY AVENUE, SPRINGBANK EAST KILBRIDE G74 1QT	**PROJECT** PROPOSED 2 STOREY GABLE EXTENSION **TITLE** PROPOSED BLOCK PLAN	**SCALE** 1:200 **DRG NO.** 3 OF 12 REV D	3

4.8.5 Access to manual controls

The location of a manual control device can have a significant effect on both the ease of operation of the device and safety in use. Positions that are inaccessible present a greater risk of accident when bending or reaching.

Any control that is intended for operation by the occupants of a building should be installed in position that allows safe and convenient use This guidance is applicable to manual controls to openable ventilators , including windows and rooflights and to controls and outlets of electrical fixtures located on a wall or other vertical surface. Unless incorporating a restrictor or other protective device for safety reasons, controls should be operable with one hand.

Windows, rooflights and ventilators

An openable window or rooflight, that provides natural ventilation to meet standard 3.14, should have controls for opening, positioned at least 350 mm from any internal corner, projecting wall or similar obstruction and at a height of:

A : not more than 1.7 m above floor level, where access to controls is unobstructed; or

B : not more than 1.5 m above floor level, where access to controls is limited by a fixed obstruction of not more than 900 mm high which projects not more than 600 mm in front of the position of the controls, such as a kitchen base unit. Where obstruction is greater, a remote means of opening, in an unobstructed location, should be provided; or

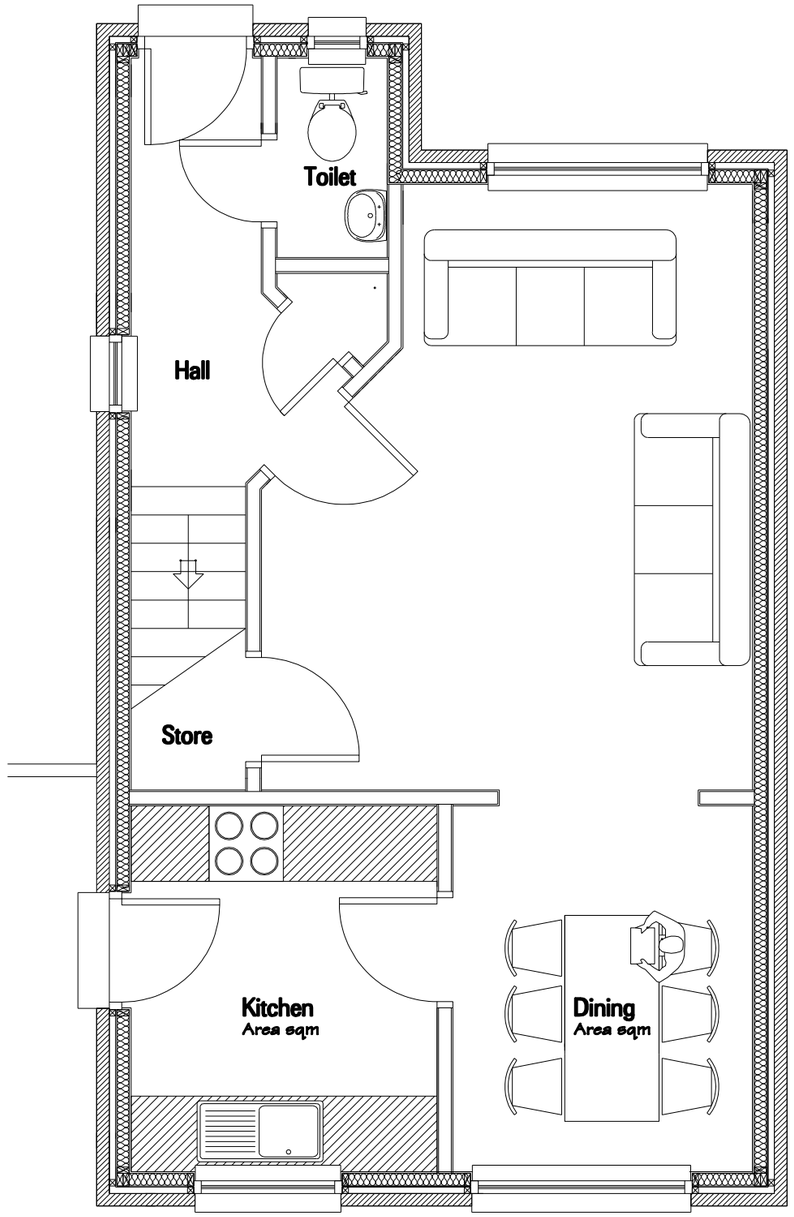
C: not more than 1.2 m above floor level, in an unobstructed location, within an enhanced apartment or within accessible sanitary accommodation not provided with mechanical ventilation.

The above guidance does not apply to windows or rooflights openable only for cleaning or maintenance purposes or that are controlled by an automatic system, or to trickle ventilators .

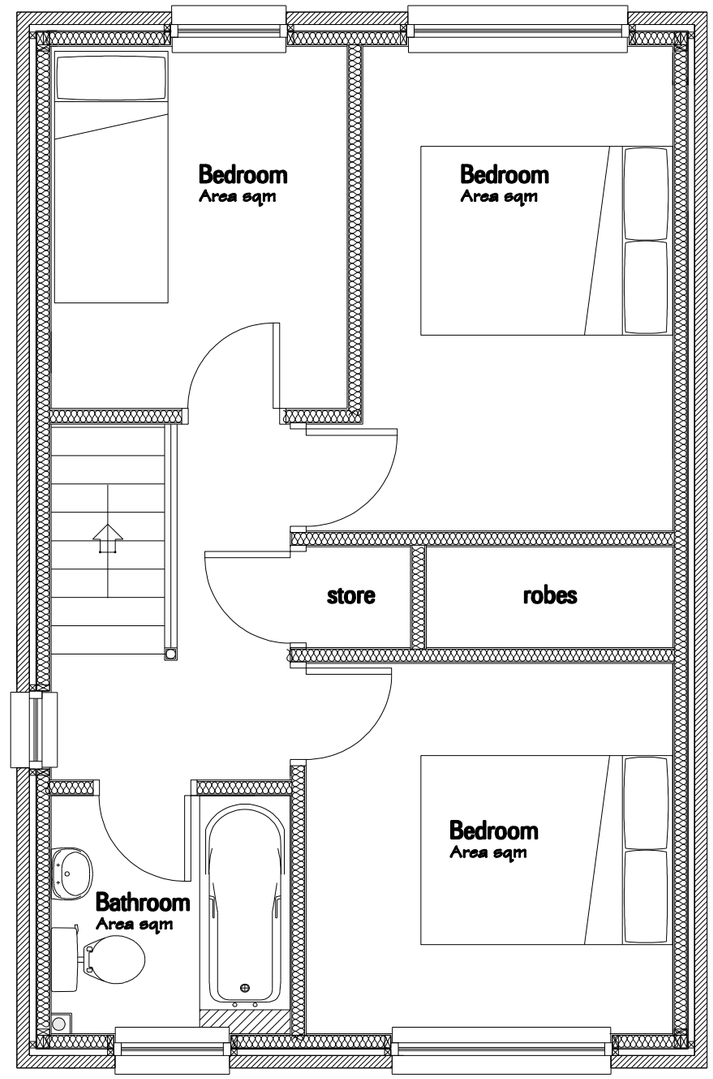
Outlets and controls of electrical fixtures and systems should be positioned at least 350 mm from any internal corner, projecting wall or similar obstruction and, unless the need for a higher location can be demonstrated, not more than 1.2 m above floor level. This would include fixtures such as sockets, switches, fire alarm call points and timer controls or programmers. Within this height range:
A : light switches should be positioned at a height of between 900 mm and 1.1 m above floor level.

B : standard switched or unswitched socket outlets and outlets for other services such as telephone or television should be positioned at least 400 mm above floor level. Above an obstruction, such as a worktop, fixtures should be at least 150 mm above the projecting surface.

Where socket outlets are concealed, such as to the rear of white goods in a kitchen , separate switching should be provided in an accessible position, to allow appliances to be isolated.



Existing Ground Floor Plan
Scale 1:50



Existing Upper Floor Plan
Scale 1:50

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT.
IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	EXISTING FLOOR PLANS	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** OF 12	REV C

4

Existing Front Elevation
Scale 1:50

Existing Rear Elevation
Scale 1:50

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	EXISTING FRONT & REAR ELEVATIONS	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** 5 OF 12	REV C

GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING (SCOTLAND) ACT 2003 AND REGULATIONS 2004 AS AMMENDED AND IN ACCORDANCE WITH ALL RELEVANT GUIDANCE AS CONTAINED WITHIN THE 2011 DOMESTIC TECHNICAL HANDBOOK
ALL STRUCTURAL TIMBER TO BE PRESSURE IMPREGNATED WITH PRESERVATIVE. ALL STUCTURAL GRADES OF TIMBER TO BE GROUP S2 - GRADE GS. TWO COATS PRESRVATIVE TO BE APPLIED TO ALL SITE CUTS.

NO HIGH ALUMINA CEMENT TO BE USED.

ALL STEELWORK TO BE WIRE BRUSHED & PAINTED WITH TWO COATS RED OXIDE PRIOR TO INSTALLATION.

ALL ELEMENTS TO HAVE A U-VALUE NOT EXCEEDING THE FOLLOWING TABLE EXTERNAL WALLS 0.19 W/M2 K ROOF 0.15 W / M2 K FLOOR 0.15 W / M2 K.

ALL DRAINAGE SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY.

ALL WINDOWS TO HABITABLE ROOMS TO HAVE MIN. AREA OF 10% FLOOR AREA AND MIN. OPENING AREA OF 6% FLOOR AREA.

ALL FACING BRICK TO BE FROST RESISTANT

DRAINAGE

ALL DRAINAGE TO BE CARRIED OUT TO THE COMPLETE SATISFACTION OF THE LOCAL AUTHORITY

MARLEY PVC DEEP FLOW GUTTER, HALF NOMINAL ROUND WITH MATCHING PVC DOWN PIPES WITH RODDING ACCESS AT GROUND LEVEL

ROOFING FELT TO BE DRESSED INTO GUTTER

WINDOWS & DOORS

ALL LOW LEVEL GLAZING TO BE TO BS 6262 AND ALL UPVC APPLICATIONS TO BS7412 :2007

NEW WINDOW GLAZING TO COMPRISE OF ARGON FILLED UNITS TO PROVIDE A U-VALUE OFF 1.4 W/M2K

ALL WINDOWS TO BE FITTED WITH PERMAVENTS AT HEAD. GLAZING THROUGHOUT TO BE TO BS:6262.TOUGHENED GLASS ON ALL WINDOWS WITH CILLS BELOW 800mm

NEW TILT AND TURN WINDOWS TO PROVIDE FIRE ESCAPE WINDOW

NEW WINDOWS TO UPPER FLOOR AREAS TO MATCH EXISTING WINDOWS WITH TILT N TURN UNITS FITTED WITH DOUBLE GLAZED UNITS TO BE CLEANABLE SAFELY FROM THE INSIDE, AND PROVIDE EMERGENCY ESCAPE TO ALL UPPER FLOOR PUBLIC AREAS MAX 1100mm OFF THE FIN FLOOR LEVEL.

NEW WINDOWS THROUGHOUT TO BE HIGH PERFORMANCE UPVC WINDOWS TO MATCH EXISTING ALL WINDOWS TO BE FITTED AT HEAD WITH PERMAVENTS

ALL NEW DOORS AND WINDOWS TO BE TO INSTALLED TO BS 7950 :1997 & BS PAS 24:2007 & INSTALLED TO PREVENT UNLAWFUL ENTRY

PERPEND VENTILATORS

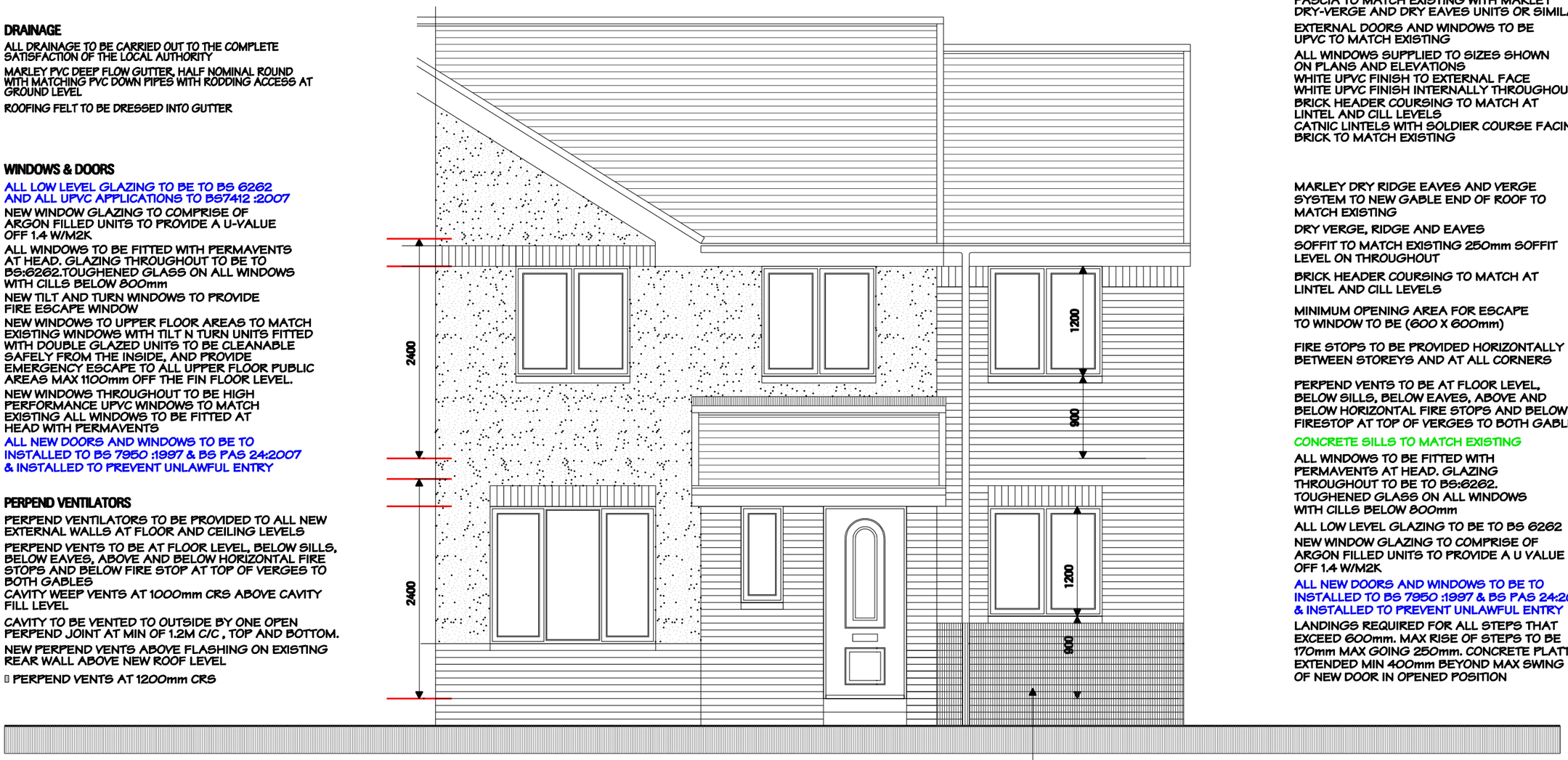
PERPEND VENTILATORS TO BE PROVIDED TO ALL NEW EXTERNAL WALLS AT FLOOR AND CEILING LEVELS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRE STOP AT TOP OF VERGES TO BOTH GABLES
CAVITY WEEP VENTS AT 1000mm CRS ABOVE CAVITY FILL LEVEL

CAVITY TO BE VENTED TO OUTSIDE BY ONE OPEN PERPEND JOINT AT MIN OF 1.2M C/C , TOP AND BOTTOM.

NEW PERPEND VENTS ABOVE FLASHING ON EXISTING REAR WALL ABOVE NEW ROOF LEVEL

PERPEND VENTS AT 1200mm CRS



SHORT FENCE / COVERING TO FRONT ELEVATION TO SHIELD WHEELIE BINS

Proposed Front Elevation
Scale 1:50

EXTERNAL FINISHES

NEW EXTERNAL FINISHES TO MATCH EXISTING BUILDING MATERIAL IN COLOUR AND TEXTURE AS FOLLOWS : -
ROOF : SLATE GREY CONCRETE TILES
FASCIA + VERGE : UPVC FASCIA
GUTTER / RWP'S / SVP'S : UPVC DOWNPIPES
WALLS : FACING BRICK / ROUGHCAST
DADO WALLS : FACING BRICK
WINDOWS : WHITE UPVC
DOORS : WHITE UPVC
SILLS : 75mm CONCRETE SILLS

ROOF FINISH TO BE MARLEY INTERLOCKING CONCRETE ROOF TILES WITH MATCHING RIDGE AND DRY VERGE DETAILS TO MATCH

UPVC FACINGS THROUGHOUT TO VERGE AND FASCIA TO MATCH EXISTING WITH MARLEY DRY-VERGE AND DRY EAVES UNITS OR SIMILAR

EXTERNAL DOORS AND WINDOWS TO BE UPVC TO MATCH EXISTING

ALL WINDOWS SUPPLIED TO SIZES SHOWN ON PLANS AND ELEVATIONS
WHITE UPVC FINISH TO EXTERNAL FACE
WHITE UPVC FINISH INTERNALLY THROUGHOUT
BRICK HEADER COURSING TO MATCH AT LINTEL AND CILL LEVELS
CATNIC LINTELS WITH SOLDIER COURSE FACING BRICK TO MATCH EXISTING

MARLEY DRY RIDGE EAVES AND VERGE SYSTEM TO NEW GABLE END OF ROOF TO MATCH EXISTING

DRY VERGE, RIDGE AND EAVES

SOFFIT TO MATCH EXISTING 250mm SOFFIT LEVEL ON THROUGHOUT

BRICK HEADER COURSING TO MATCH AT LINTEL AND CILL LEVELS

MINIMUM OPENING AREA FOR ESCAPE TO WINDOW TO BE (600 X 600mm)

FIRE STOPS TO BE PROVIDED HORIZONTALLY BETWEEN STOREYS AND AT ALL CORNERS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRESTOP AT TOP OF VERGES TO BOTH GABLES

CONCRETE SILLS TO MATCH EXISTING

ALL WINDOWS TO BE FITTED WITH PERMAVENTS AT HEAD. GLAZING THROUGHOUT TO BE TO BS:6262. TOUGHENED GLASS ON ALL WINDOWS WITH CILLS BELOW 800mm

ALL LOW LEVEL GLAZING TO BE TO BS 6262

NEW WINDOW GLAZING TO COMPRISE OF ARGON FILLED UNITS TO PROVIDE A U VALUE OFF 1.4 W/M2K

ALL NEW DOORS AND WINDOWS TO BE TO INSTALLED TO BS 7950 :1997 & BS PAS 24:2007 & INSTALLED TO PREVENT UNLAWFUL ENTRY

LANDINGS REQUIRED FOR ALL STEPS THAT EXCEED 600mm. MAX RISE OF STEPS TO BE 170mm MAX GOING 250mm. CONCRETE PLATT EXTENDED MIN 400mm BEYOND MAX SWING OF NEW DOOR IN OPENED POSITION

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	PROPOSED FRONT ELEVATION	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** 6 OF 12	REV D

6

GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING (SCOTLAND) ACT 2003 AND REGULATIONS 2004 AS AMMENDED AND IN ACCORDANCE WITH ALL RELEVANT GUIDANCE AS CONTAINED WITHIN THE 2011 DOMESTIC TECHNICAL HANDBOOK
ALL STRUCTURAL TIMBER TO BE PRESSURE IMPREGNATED WITH PRESERVATIVE. ALL STUCTURAL GRADES OF TIMBER TO BE GROUP S2 - GRADE GS. TWO COATS PRESRVATIVE TO BE APPLIED TO ALL SITE CUTS.

NO HIGH ALUMINA CEMENT TO BE USED.

ALL STEELWORK TO BE WIRE BRUSHED & PAINTED WITH TWO COATS RED OXIDE PRIOR TO INSTALLATION.

ALL ELEMENTS TO HAVE A U-VALUE NOT EXCEEDING THE FOLLOWING TABLE EXTERNAL WALLS 0.19 W/M2 K ROOF 0.15 W / M2 K FLOOR 0.15 W / M2 K.

ALL DRAINAGE SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY.

ALL WINDOWS TO HABITABLE ROOMS TO HAVE MIN. AREA OF 10% FLOOR AREA AND MIN. OPENING AREA OF 6% FLOOR AREA.

ALL FACING BRICK TO BE FROST RESISTANT

DRAINAGE

ALL DRAINAGE TO BE CARRIED OUT TO THE COMPLETE SATISFACTION OF THE LOCAL AUTHORITY

MARLEY PVC DEEP FLOW GUTTER, HALF NOMINAL ROUND WITH MATCHING PVC DOWN PIPES WITH RODDING ACCESS AT GROUND LEVEL

ROOFING FELT TO BE DRESSED INTO GUTTER

MARLEY DRY RIDGE EAVES AND VERGE SYSTEM TO NEW GABLE END OF ROOF TO MATCH EXISTING

DRY VERGE, RIDGE AND EAVES

SOFFIT TO MATCH EXISTING 250mm SOFFIT LEVEL ON THROUGHOUT

BRICK HEADER COURSING TO MATCH AT LINTEL AND CILL LEVELS

MINIMUM OPENING AREA FOR ESCAPE TO WINDOW TO BE (600 X 600mm)

FIRE STOPS TO BE PROVIDED HORIZONTALLY BETWEEN STOREYS AND AT ALL CORNERS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRESTOP AT TOP OF VERGES TO BOTH GABLES

CONCRETE SILLS TO MATCH EXISTING

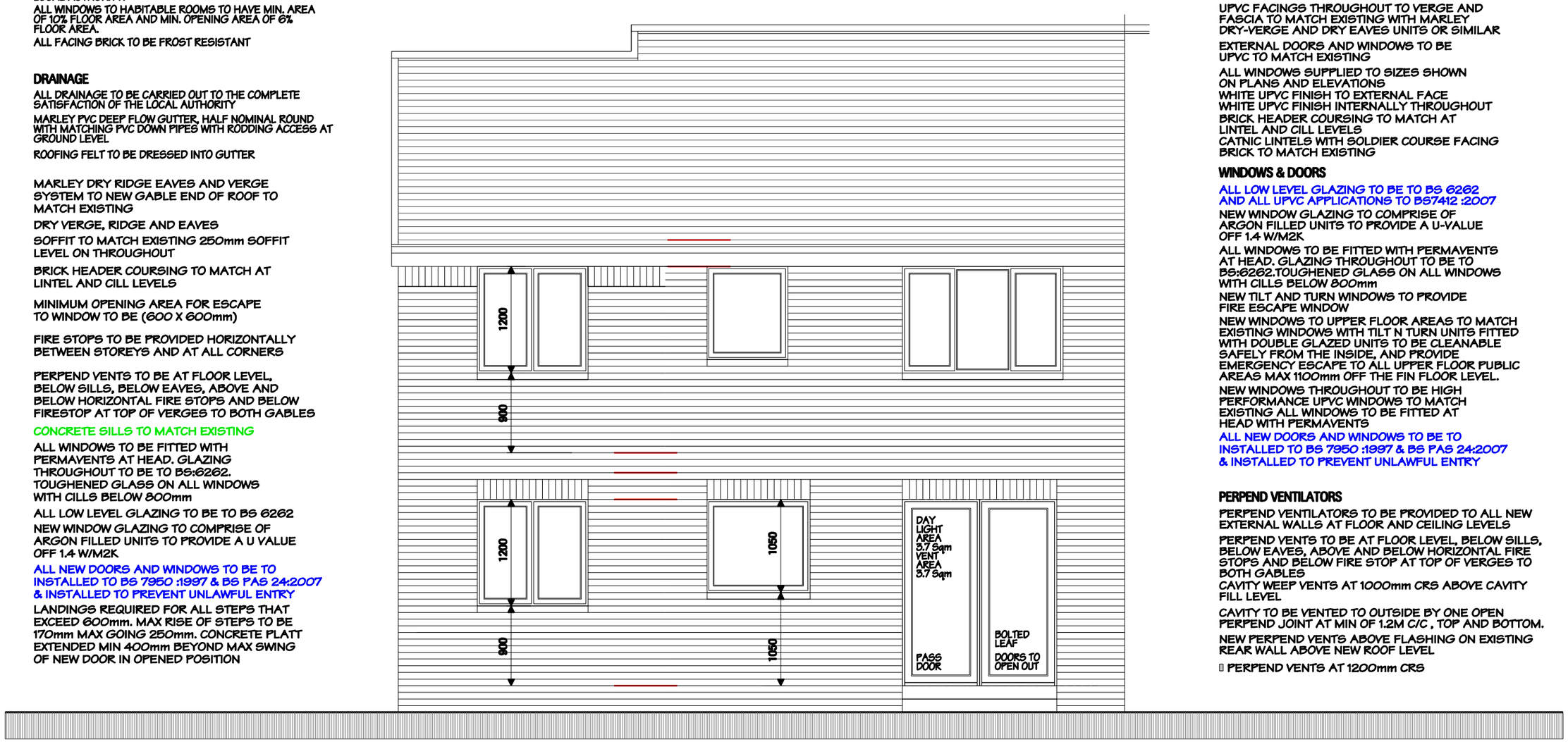
ALL WINDOWS TO BE FITTED WITH PERMAVENTS AT HEAD. GLAZING THROUGHOUT TO BE TO BS:6262. TOUGHENED GLASS ON ALL WINDOWS WITH CILLS BELOW 800mm

ALL LOW LEVEL GLAZING TO BE TO BS 6262

NEW WINDOW GLAZING TO COMPRISE OF ARGON FILLED UNITS TO PROVIDE A U VALUE OFF 1.4 W/M2K

ALL NEW DOORS AND WINDOWS TO BE TO INSTALLED TO BS 7950 :1997 & BS PAS 24:2007 & INSTALLED TO PREVENT UNLAWFUL ENTRY

LANDINGS REQUIRED FOR ALL STEPS THAT EXCEED 600mm. MAX RISE OF STEPS TO BE 170mm MAX GOING 250mm. CONCRETE PLATT EXTENDED MIN 400mm BEYOND MAX SWING OF NEW DOOR IN OPENED POSITION



Proposed Rear Elevation
Scale 1:50

EXTERNAL FINISHES

NEW EXTERNAL FINISHES TO MATCH EXISTING BUILDING MATERIAL IN COLOUR AND TEXTURE AS FOLLOWS : -
ROOF : SLATE GREY CONCRETE TILES
FASCIA + VERGE : UPVC FASCIA
GUTTER / RWP'S / SVP'S : UPVC DOWNPIPES
WALLS : FACING BRICK / ROUGHCAST
DADO WALLS : FACING BRICK
WINDOWS : WHITE UPVC
DOORS : WHITE UPVC
SILLS : 75mm CONCRETE SILLS

ROOF FINISH TO BE MARLEY INTERLOCKING CONCRETE ROOF TILES WITH MATCHING RIDGE AND DRY VERGE DETAILS TO MATCH

UPVC FACINGS THROUGHOUT TO VERGE AND FASCIA TO MATCH EXISTING WITH MARLEY DRY-VERGE AND DRY EAVES UNITS OR SIMILAR

EXTERNAL DOORS AND WINDOWS TO BE UPVC TO MATCH EXISTING

ALL WINDOWS SUPPLIED TO SIZES SHOWN ON PLANS AND ELEVATIONS
WHITE UPVC FINISH TO EXTERNAL FACE
WHITE UPVC FINISH INTERNALLY THROUGHOUT
BRICK HEADER COURSING TO MATCH AT LINTEL AND CILL LEVELS
CATNIC LINTELS WITH SOLDIER COURSE FACING BRICK TO MATCH EXISTING

WINDOWS & DOORS

ALL LOW LEVEL GLAZING TO BE TO BS 6262 AND ALL UPVC APPLICATIONS TO BS7412 :2007

NEW WINDOW GLAZING TO COMPRISE OF ARGON FILLED UNITS TO PROVIDE A U-VALUE OFF 1.4 W/M2K

ALL WINDOWS TO BE FITTED WITH PERMAVENTS AT HEAD. GLAZING THROUGHOUT TO BE TO BS:6262.TOUGHENED GLASS ON ALL WINDOWS WITH CILLS BELOW 800mm

NEW TILT AND TURN WINDOWS TO PROVIDE FIRE ESCAPE WINDOW

NEW WINDOWS TO UPPER FLOOR AREAS TO MATCH EXISTING WINDOWS WITH TILT N TURN UNITS FITTED WITH DOUBLE GLAZED UNITS TO BE CLEANABLE SAFELY FROM THE INSIDE, AND PROVIDE EMERGENCY ESCAPE TO ALL UPPER FLOOR PUBLIC AREAS MAX 1100mm OFF THE FIN FLOOR LEVEL.

NEW WINDOWS THROUGHOUT TO BE HIGH PERFORMANCE UPVC WINDOWS TO MATCH EXISTING ALL WINDOWS TO BE FITTED AT HEAD WITH PERMAVENTS

ALL NEW DOORS AND WINDOWS TO BE TO INSTALLED TO BS 7950 :1997 & BS PAS 24:2007 & INSTALLED TO PREVENT UNLAWFUL ENTRY

PERPEND VENTILATORS

PERPEND VENTILATORS TO BE PROVIDED TO ALL NEW EXTERNAL WALLS AT FLOOR AND CEILING LEVELS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRE STOP AT TOP OF VERGES TO BOTH GABLES

CAVITY WEEP VENTS AT 1000mm CRS ABOVE CAVITY FILL LEVEL

CAVITY TO BE VENTED TO OUTSIDE BY ONE OPEN PERPEND JOINT AT MIN OF 1.2M C/C , TOP AND BOTTOM.

NEW PERPEND VENTS ABOVE FLASHING ON EXISTING REAR WALL ABOVE NEW ROOF LEVEL

PERPEND VENTS AT 1200mm CRS

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED** 18th November 2018	**SCALE** 1:50	BM1635	7
TITLE	PROPOSED REAR ELEVATION	**SIGNED** Mr & Mrs DEREK HAUGHEY	**DRG NO.** 7 OF 12	REV C	

GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING (SCOTLAND) ACT 2003 AND REGULATIONS 2004 AS AMMENDED AND IN ACCORDANCE WITH ALL RELEVANT GUIDANCE AS CONTAINED WITHIN THE 2011 DOMESTIC TECHNICAL HANDBOOK
ALL STRUCTURAL TIMBER TO BE PRESSURE IMPREGNATED WITH PRESERVATIVE. ALL STUCTURAL GRADES OF TIMBER TO BE GROUP S2 - GRADE GS. TWO COATS PRESRVATIVE TO BE APPLIED TO ALL SITE CUTS.

NO HIGH ALUMINA CEMENT TO BE USED.

ALL STEELWORK TO BE WIRE BRUSHED & PAINTED WITH TWO COATS RED OXIDE PRIOR TO INSTALLATION.

ALL ELEMENTS TO HAVE A U-VALUE NOT EXCEEDING THE FOLLOWING TABLE EXTERNAL WALLS 0.19 W/M2 K ROOF 0.15 W / M2 K FLOOR 0.15 W / M2 K.

ALL DRAINAGE SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY.

ALL WINDOWS TO HABITABLE ROOMS TO HAVE MIN. AREA OF 10% FLOOR AREA AND MIN. OPENING AREA OF 6% FLOOR AREA.

ALL FACING BRICK TO BE FROST RESISTANT

DRAINAGE

ALL DRAINAGE TO BE CARRIED OUT TO THE COMPLETE SATISFACTION OF THE LOCAL AUTHORITY

MARLEY PVC DEEP FLOW GUTTER, HALF NOMINAL ROUND WITH MATCHING PVC DOWN PIPES WITH RODDING ACCESS AT GROUND LEVEL

ROOFING FELT TO BE DRESSED INTO GUTTER

MARLEY DRY RIDGE EAVES AND VERGE SYSTEM TO NEW GABLE END OF ROOF TO MATCH EXISTING

DRY VERGE, RIDGE AND EAVES

SOFFIT TO MATCH EXISTING 250mm SOFFIT LEVEL ON THROUGHOUT

BRICK HEADER COURSING TO MATCH AT LINTEL AND CILL LEVELS

MINIMUM OPENING AREA FOR ESCAPE TO WINDOW TO BE (600 X 600mm)

FIRE STOPS TO BE PROVIDED HORIZONTALLY BETWEEN STOREYS AND AT ALL CORNERS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRESTOP AT TOP OF VERGES TO BOTH GABLES

CONCRETE SILLS TO MATCH EXISTING

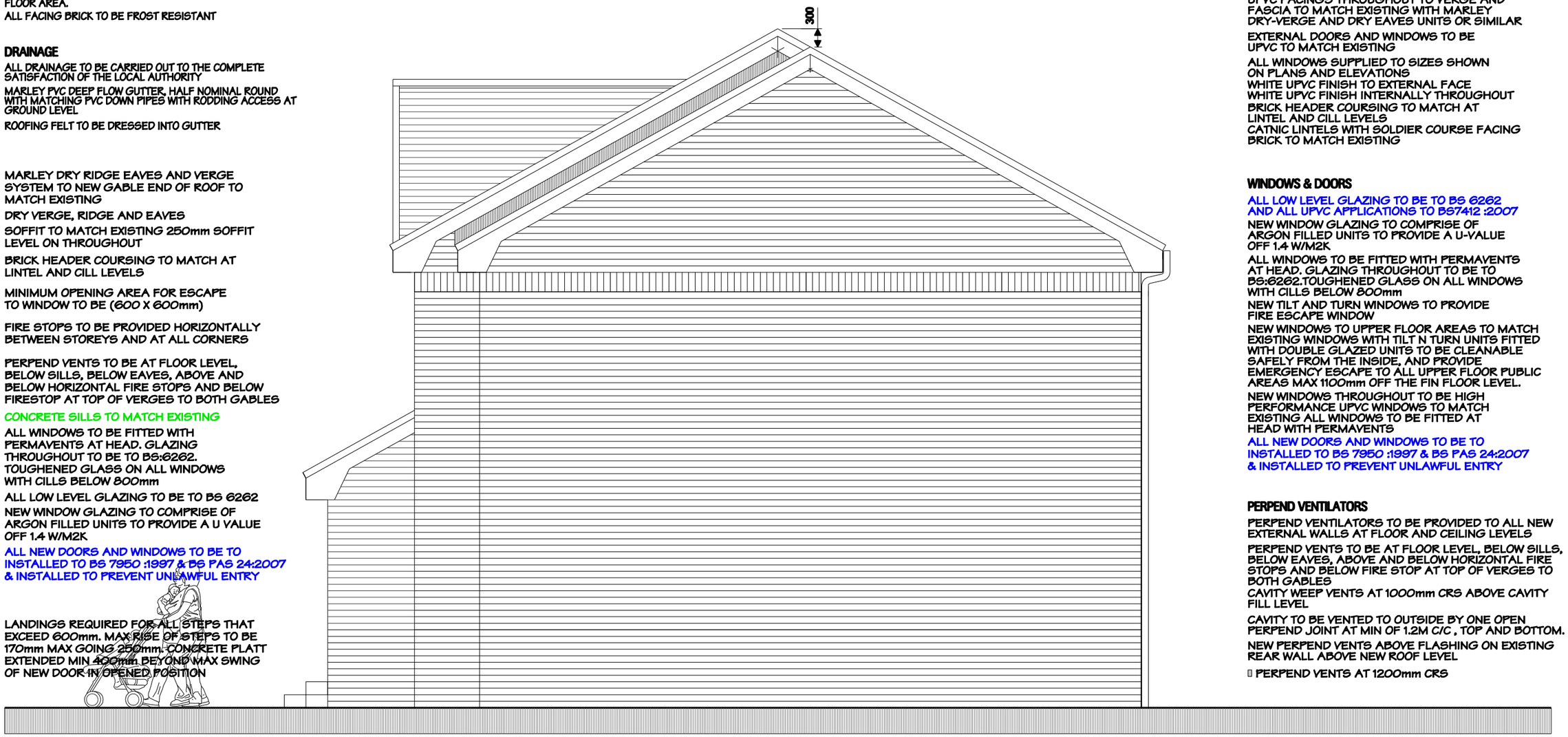
ALL WINDOWS TO BE FITTED WITH PERMAVENTS AT HEAD. GLAZING THROUGHOUT TO BE TO BS:6262. TOUGHENED GLASS ON ALL WINDOWS WITH CILLS BELOW 800mm

ALL LOW LEVEL GLAZING TO BE TO BS 6262

NEW WINDOW GLAZING TO COMPRISE OF ARGON FILLED UNITS TO PROVIDE A U VALUE OFF 1.4 W/M2K

ALL NEW DOORS AND WINDOWS TO BE TO INSTALLED TO BS 7950 :1997 & BS PAS 24:2007 & INSTALLED TO PREVENT UNLAWFUL ENTRY

LANDINGS REQUIRED FOR ALL STEPS THAT EXCEED 600mm. MAX RISE OF STEPS TO BE 170mm MAX GOING 250mm. CONCRETE PLATT EXTENDED MIN 400mm BEYOND MAX SWING OF NEW DOOR IN OPENED POSITION



Proposed Gable Elevation
Scale 1:50

EXTERNAL FINISHES

NEW EXTERNAL FINISHES TO MATCH EXISTING BUILDING MATERIAL IN COLOUR AND TEXTURE AS FOLLOWS : -
ROOF : SLATE GREY CONCRETE TILES
FASCIA + VERGE : UPVC FASCIA
GUTTER / RWP'S / SVP'S : UPVC DOWNPIPES
WALLS : FACING BRICK / ROUGHCAST
DADO WALLS : FACING BRICK
WINDOWS : WHITE UPVC
DOORS : WHITE UPVC
SILLS : 75mm CONCRETE SILLS

ROOF FINISH TO BE MARLEY INTERLOCKING CONCRETE ROOF TILES WITH MATCHING RIDGE AND DRY VERGE DETAILS TO MATCH

UPVC FACINGS THROUGHOUT TO VERGE AND FASCIA TO MATCH EXISTING WITH MARLEY DRY-VERGE AND DRY EAVES UNITS OR SIMILAR

EXTERNAL DOORS AND WINDOWS TO BE UPVC TO MATCH EXISTING

ALL WINDOWS SUPPLIED TO SIZES SHOWN ON PLANS AND ELEVATIONS
WHITE UPVC FINISH TO EXTERNAL FACE
WHITE UPVC FINISH INTERNALLY THROUGHOUT
BRICK HEADER COURSING TO MATCH AT LINTEL AND CILL LEVELS
CATNIC LINTELS WITH SOLDIER COURSE FACING BRICK TO MATCH EXISTING

WINDOWS & DOORS

ALL LOW LEVEL GLAZING TO BE TO BS 6262 AND ALL UPVC APPLICATIONS TO BS7412 :2007

NEW WINDOW GLAZING TO COMPRISE OF ARGON FILLED UNITS TO PROVIDE A U-VALUE OFF 1.4 W/M2K

ALL WINDOWS TO BE FITTED WITH PERMAVENTS AT HEAD. GLAZING THROUGHOUT TO BE TO BS:6262.TOUGHENED GLASS ON ALL WINDOWS WITH CILLS BELOW 800mm

NEW TILT AND TURN WINDOWS TO PROVIDE FIRE ESCAPE WINDOW

NEW WINDOWS TO UPPER FLOOR AREAS TO MATCH EXISTING WINDOWS WITH TILT N TURN UNITS FITTED WITH DOUBLE GLAZED UNITS TO BE CLEANABLE SAFELY FROM THE INSIDE, AND PROVIDE EMERGENCY ESCAPE TO ALL UPPER FLOOR PUBLIC AREAS MAX 1100mm OFF THE FIN FLOOR LEVEL.

NEW WINDOWS THROUGHOUT TO BE HIGH PERFORMANCE UPVC WINDOWS TO MATCH EXISTING ALL WINDOWS TO BE FITTED AT HEAD WITH PERMAVENTS

ALL NEW DOORS AND WINDOWS TO BE TO INSTALLED TO BS 7950 :1997 & BS PAS 24:2007 & INSTALLED TO PREVENT UNLAWFUL ENTRY

PERPEND VENTILATORS

PERPEND VENTILATORS TO BE PROVIDED TO ALL NEW EXTERNAL WALLS AT FLOOR AND CEILING LEVELS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRE STOP AT TOP OF VERGES TO BOTH GABLES
CAVITY WEEP VENTS AT 1000mm CRS ABOVE CAVITY FILL LEVEL

CAVITY TO BE VENTED TO OUTSIDE BY ONE OPEN PERPEND JOINT AT MIN OF 1.2M C/C , TOP AND BOTTOM.

NEW PERPEND VENTS ABOVE FLASHING ON EXISTING REAR WALL ABOVE NEW ROOF LEVEL

PERPEND VENTS AT 1200mm CRS

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED** 18th November 2018	**SCALE** 1:50	BM1635	8
TITLE	PROPOSED GABLE ELEVATION	**SIGNED** Mr & Mrs DEREK HAUGHEY	**DRG NO.** 8 OF 12	REV C	

WALL TIES

CATNIC BT2 WALL TIES TO COMPLY WITH BS1243 SPACING SHALL BE 600mm HORIZONTALLY 450mm VERTICALLY ADDITIONAL TIES TO BE POSITIONED AT 225mm VERTICAL SPACING AROUND OPENINGS AND WITHIN 150mm OF OPENING OR JOINT

INTERNAL WALLS

INTERNAL PARTITION TO BE 100mm X 50mm TIMBER STUDS AT 600mm CRS PLATED WITH 12.7mm PLASTERBOARD TO EACH FACE WITH 100mm QUILT INSULATION LAID BETWEEN STUDS TO PROVIDE MIN 43RWDB AND A MASS OF NOT LESS THAN 10 kg/m

LIMITING AIR INFILTRATION

ALL EXTRANEOUS AIR LEAKAGE PATHS IN DWELLING FABRIC WILL BE MINIMISED BY CONSTRUCTING THE DWELLING IN ACCORDANCE WITH BRE REPORT BR BUILDING RESEARCH ESTABLISHMENT BRE REPORT BR 262 SECOND EDITION 1994 (NOTE1)TO INCLUDE
1. SEALING THE GAPS BETWEEN DRY LININGS AND MASONRY WALLS AT THE EDGES OF WINDOWS DOORS AND ROOFSPACE OPENINGS, AND AT THE JUNCTIONS BETWEEN WALLS FLOORS AND CEILINGS AND
2. SEALING VAPOUR CONTROL MEMBRANES IN TIMBER FRAMED OTHER FRAMED PANEL CONSTRUCTIONS AND
3. SEALING AT SERVICE PENETRATIONS OF THE FABRIC OR AROUND BOXING FOR SERVICES AND ING DRAUGHT SEALS TO THE OPENABLE PARTS OF THE WINDOWS ROOF LIGHTS AND SEALING AROUND JOIST ENDS BUILT INTO THE INNER LEAF OF EXTERNAL CAVITY WALLS

HEATING SYSTEM

ALL HEATING AND HOT WATER PIPES WILL BE INSULATED IN ACCORDANCE WITH BS. 5422 : 2001

THERMOSTATIC CONTROL VALVES TO FITTED TO ALL NEW RADIATORS ALL ASSOCIATED PIPEWORK TO BE FULLY INSULATED TO BS 5422 : 2001

NEW RADIATORS AND BOILER TO BE POSITIONED ON SITE BY CLIENT. BOILER TO BE VENTED TO EXTERNAL AIR.

PERPEND VENTILATORS

PERPEND VENTILATORS TO BE PROVIDED TO ALL NEW EXTERNAL WALLS AT FLOOR AND CEILING LEVELS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRE STOP AT TOP OF VERGES TO BOTH GABLES

CAVITY WEEP VENTS AT 1000mm CRS ABOVE CAVITY FILL LEVEL

CAVITY TO BE VENTED TO OUTSIDE BY ONE OPEN PERPEND JOINT AT MIN OF 1.2M C/C , TOP AND BOTTOM.

NEW PERPEND VENTS ABOVE FLASHING ON EXISTING REAR WALL ABOVE NEW ROOF LEVEL

▯ PERPEND VENTS AT 1200mm CRS

TRICKLE VENTILATION TO WINDOWS (minimum)

GAMES ROOM	15000 mm2
STUDIO / UTILITY	15000 mm2

MECHANICAL VENTILATION

UTILITY EXTRACT VENTILATION TO BE 150 X 150mm GREENWOOD AIRVAC EXTRACT FAN VENTED AND DUCTED THROUGH NEW CAVITY WALL TO EXTERNAL AIR BY 150MM DUCTING AS SHOWN ON PLAN FAN AND SWITCHED TO LIGHT SWITCH TO PROVIDE 30 LITRES / SECOND EXTRACT RATE + 10MIN OVERRUN. EXTRACT FAN TO BE FITTED WITH ISOLATOR SWITCH

KITCHEN EXTRACT VENTILATION BY MECHANICAL FAN 200 X 200mm BY GREENWOOD AIRVAC OR SIMILAR TO BE MOUNTED AT HIGH LEVEL ON EXTERNAL WALL AND VENTED THRO WALL TO EXTERNAL AIR TO PROVIDE MIN EXTRACTION RATE OF 60 LITRES SEC (6 AIR CHANGES / HOUR). FAN TO BE CONNECTED AND SWITCHED TO LIGHT SWITCH AND FITTED WITH ISOLATOR SWITCH

FIRE PROTECTION

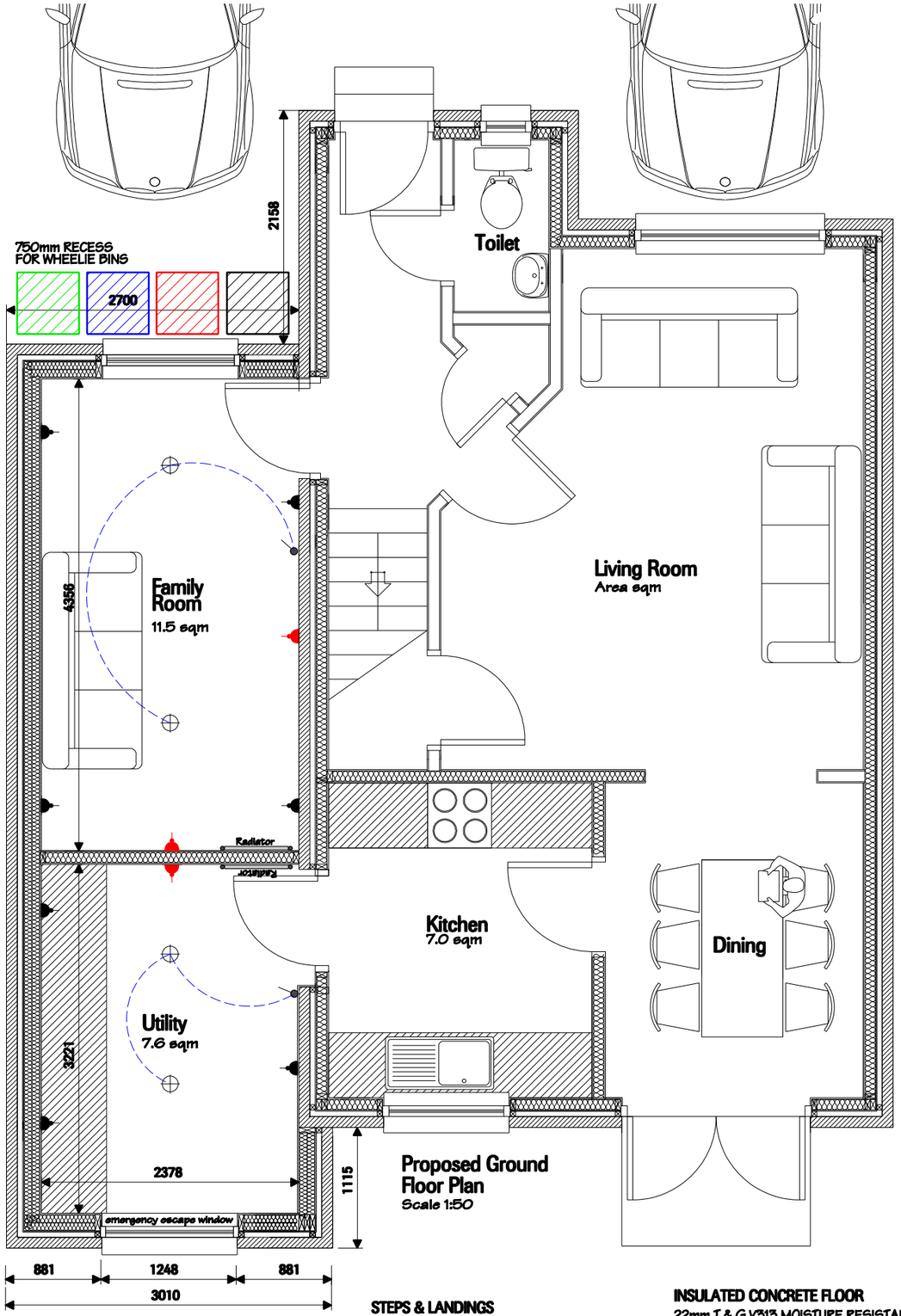
FIRE STOPS TO BE PROVIDED HORIZONTALLY BETWEEN STOREYS AND AT ALL CORNERS

15mm FIRELINE BOARD ON 12.7mm PLASTERBOARD TO INNER FACE AT BOTH FLOORS THROUGHOUT TO PROVIDE 60MIN RESISTANCE TO BOUNDARY WALL. ALL NEW SOCKETS ON BOUNDARY WALL TO FIRE BACKED / RATED OR BE SURFACE MOUNTED AND NOT RECESSED TO MAINTAIN FIRE RESISTANCE

WATER SUPPLY / FITTINGS

3.27.1 WATER EFFICIENT FITTINGS TO BE PROVIDED WITHIN ALL ACCESSIBLE SANITARY ACCOMODATION ACCESSIBLE WC'S SHALL HAVE AN AVERAGE FLUSH OF NOT MORE THAN 4.5 LITRES WHERE IT IS A DUAL OR SINGLE FLUSH SYSTEM. WASH HAND BASINS SHALL HAVE A FLOW RATE OF NOT MORE THAN 6 LITRES PER MINUTE

3.27.2 WATER EFFICEINT FITTING TO BE FITTED ON ALL NEW APPLINACES SHOWN.DUAL FLUSH CISTRENS SHOULD HAVE A FLUSH RATE OF NOT MORE THAN 4.5 LITRES.TAFS SERVING WASH HAND BASINS SHOULD HAVE A FLOW RATE OF NOT MORE THAN 6 LITRES / MINUTE



Proposed Ground Floor Plan
Scale 1:50

STEPS & LANDINGS

LANDINGS REQUIRED FOR ALL STEPS THAT EXCEED 600mm. MAX RISE OF STEPS 0 BE 170mm MAX GOING 250mm. CONCRETE PLATT EXTENDED MIN 400mm BEYOND MAX SWING OF NEW DOOR IN OPENED POSITION

INSULATED CONCRETE FLOOR

22mm T & G V313 MOISTURE RESISTANT CHIPBOARD ON 130 X 50mm S.W. BEARERS AT 400mm CRS ON CONCRETE FLOOR SLAB WITH 130mm CELOTEX GA4000 INSULATING BOARD BETWEEN BEARERS TO PROVIDE MAX 0.15 W/M C ON 2000Q DP MEMBRANE ON 150mm GRADE 1 HARDCORE UPFILL ON 75mm ASH BLINDING

WALLS ABOVE DPC LEVEL

310mm NOMINAL CAVITY WALL CONSTRUCTION

INNER SKIN COMPRISING OF 60mm LOW 'E' CAVITY TF200 THERMO VAPOUR CHECK / MEMBRANE STAPLED TO 9.0mm OSB BOARDING
140mm KNAUF TIMBER ROLL 35 / 140mm TIMBER STUD VAPOUR CHECK LAYOUR
20mm CELOTEX TB4000 MULTI PURPOSE RIGID BOARD
12.5mm GYPROC WALLBOARD / PLASTERBOARD LINING TO PROVIDE MAX NEW U-ALUE OF 0.19 W/M2K

STRESS GRADED TIMBERS WITH CONTINUOUS BOTTOM AND TOP MEMBERS AND VERTICAL STUDS AT 600MM CRS FINISH WALL WITH 50mm CLEAR CAVITY.
100mm FACING BRICK DADO AND (ROUGHCAST) TO MAIN WALL TO MATCH THROUGHOUT

140 X 50 SW C16 TIMBERS FORMING BOTTOM AND TOP STUD MEMBERS FIXED TO WALL PLATE AND SOLE PLATE WITH BAT FRAMING ANCHORS AND STRAPPED TO SUB-STRUCTURE WITH BAT GALVANISED ANCHOR STRAPS AT 600MM CRS

TIMBER FRAME TO BE RAWL BOLTED TO EXISTING HOUSE BRICKWORK AND TIMBERS WHERE NECCESSARY AT EVERY 4TH COURSE

CAVITY BARRIERS TO BE INSTALLED AROUND THE EDGES OF THE CAVITY, AROUND HEAD AND JAMBS OF WINDOW. CAVITY BARRIERS TO BE INSTALLED BETWEEN ROOF AND ANY OTHER SPACE, INCLUDING WALL HEADS.

DPC'S TO BE BUILT IN CONTINUOSLY A MIN. OF 150MM ABOVE GROUND LEVEL AND UNDER ALL CILLS AND AT ALL INGOES

GROUND FLOOR RESTRAINT EXTERNAL BRICKWORK TO BE BUILT ON 1200 X 30 X 5mm MS GALVANISED HOLDING DOWN STRAP MINIMUM 3 BRICKWORK COURSES BELOW DPC

EXTERNAL LEAF OF BRICKWORK NOT TO BE ERECTED UNTIL GROUND FLOOR HOLDING DOWN ANCHOR STRAPS ARE SECURED IN POSITION
NEW CAVITY WALLS TO BE KEYED INTO EXISTING AT LEAST AT EVERY FOURTH COURSE VERTICALLY OR BY CATNIC SUREFIX ANGLE SYSTEM

ELECTRICAL LEGEND

FITTINGS SHALL COMPLY WITH BS 5068 PART 2.

ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT 17TH EDITION REGULATIONS AS ISSUED BY THE I.E.E. TO BS 7671 : 2008 BS 5422 : 2009

6.5.1 A MINIMUM OF 75% OF THE FIXED LIGHT FITTINGS AND LAMPS INSTALLED WITHIN A DWELLING SHOULD BE LOW ENERGY TYPE WITH A LUMINOUS EFFICACY OF AT LEAST 45 LUMENS / CIRCUIT WATT SUCH AS LED AND FLOURESCENT FITTINGS

4.8.5 THE NEW LIGHT SWITCHES REQUIRE TO BE FITTED AT A HEIGHT OF BETWEEN 900mm AND 1100mm ABOVE FLOOR LEVEL

OUTLETS AND CONTROLS OF ELECTRICAL FIXTURES AND SYSTEMS TO BE POSITIONED AT LEAST 350mm FROM ANY INTERNAL CORNER. STANDARD SWITCHED OR UNSWITCHED SOCKETS OUTLETS FOR OTHER SERVICES SUCH AS TELEPHONE AND TELEVISION SHOULD BE POSITIONED AT LEAST 400mm ABOVE FIN FLOOR LEVEL, AND AT LEAST 150mm ABOVE A PROJECTING WORK SURFACE.

ELECTRICAL INSTALLATION TO BE INSTALLED IN ACCORDANCE WITH BS 7671 2008 AS AMMENDED. ELECTRICAL INSTALLATIONS TO BE INSTALLED BY A COMPETENT INSTALLER DEEMED TO BE A CURRENT MEMBER OF A UKAS ACCREDITED SCHEME SUCH AS NICEIC, ECA OR SELECT OR EQUIVALENT BODY. ELECTRICAL TEST CERTIFICATE TO BE PROVIDED UPON COMPLETION OF ALL WORKS

- CEILING ROSE (PENDANT / SPOT)
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT LOW LEVEL
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT HIGH LEVEL
- LIGHT SWITCH WALL MOUNTED
- OPTICAL SMOKE ALARMS TO CONFORM WITH BS EN 14604:2005
- HEAT DETECTOR
- HONEYWELL SF340F CARBON MONOXIDE DETECTOR AND ALARM HARDWIRED WITH BATTERY BACK UP, CEILING MOUNTED MIN 300mm FROM WALL

INTERCONNECTED SMOKE DETECTORS TO BS 5446 : PART 1 : 2000 AND BS5839: PART 6 : WIRED TO MAINS ELECTRICAL SUPPLY WITHIN 7m OF LIVING ROOM DOORS AND 3m OF BEDROOM DOORS AND 300mm FROM LIGHT FITTINGS AND ADJECENT WALLS - (BATTERY BACK UP) SMOKE DETECTION TO BS 5446 AND BS 5839

ALL ELECTRICAL FITTINGS SHALL COMPLY WITH BS 5068 PART 2.ALL OUTLET BOXES SHALL BE FORMED FROM STEEL AND SHALL COMPLY WITH BS4662 AND BE SECURELY FIXED WITH A MINIMUM OF 3 NO. 8 SCREWS 25mm LONG. CABLES RUN IN FLOOR AND WALLS SHALL BE PROTECTED BY METAL PLATING OR EQUAL & APPROVED METHOD.

NOTCHING OF TIMBERS SHALL NOT EXCEED 25MM WIRING OF SOCKETS SHALL BE CONNECTED TO RING MAIN USING 2.5 mm SQ LIVE CONDUCTORS WITH 1.5mm SQ MIN CPU. ALL SOCKETS SHALL BE SWITCHED 13 AMP MOULDED PLASTIC FLUSH 3 PIN SHUTTER PATTERN TO BS 1363 PART 2. MIN OF 6 SOCKETS TO KITCHEN AND LIVING ROOM, 4 SOCKETS TO BEDROOM. HUMIDISTAT FANS TO BE SUITABLE FOR 240 VOLT 50 HZ OPERATION FITTED WITH ISOLATOR AT HIGH LEVEL

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE**	1:50	BM1635
TITLE	PROPOSED GROUND FLOOR PLAN	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.**	9 OF 12	REV B

9

WALL TIES

CATNIC BT2 WALL TIES TO COMPLY WITH BS1243 SPACING SHALL BE 600mm HORIZONTALLY 450mm VERTICALLY ADDITIONAL TIES TO BE POSITIONED AT 225mm VERTICAL SPACING AROUND OPENINGS AND WITHIN 150mm OF OPENING OR JOINT

INTERNAL WALLS

INTERNAL PARTITION TO BE 100mm X 50mm TIMBER STUDS AT 600mm CRS PLATED WITH 12.7mm PLASTERBOARD TO EACH FACE WITH 100mm QUILT INSULATION LAID BETWEEN STUDS TO PROVIDE MIN 43RWDB AND A MASS OF NOT LESS THAN 10 kg/m

LIMITING AIR INFILTRATION

ALL EXTRANEOUS AIR LEAKAGE PATHS IN DWELLING FABRIC WILL BE MINIMISED BY CONSTRUCTING THE DWELLING IN ACCORDANCE WITH BRE REPORT BR BUILDING RESEARCH ESTABLISHMENT BRE REPORT BR 262 SECOND EDITION 1994 (NOTE1)TO INCLUDE
1. SEALING THE GAPS BETWEEN DRY LININGS AND MASONRY WALLS AT THE EDGES OF WINDOWS DOORS AND ROOFSPACE OPENINGS, AND AT THE JUNCTIONS BETWEEN WALLS FLOORS AND CEILINGS AND
2. SEALING VAPOUR CONTROL MEMBRANES IN TIMBER FRAMED OTHER FRAMED PANEL CONSTRUCTIONS AND
3. SEALING AT SERVICE PENETRATIONS OF THE FABRIC OR AROUND BOXING FOR SERVICES AND ING DRAUGHT SEALS TO THE OPENABLE PARTS OF THE WINDOWS ROOF LIGHTS AND SEALING AROUND JOIST ENDS BUILT INTO THE INNER LEAF OF EXTERNAL CAVITY WALLS

HEATING SYSTEM

ALL HEATING AND HOT WATER PIPES WILL BE INSULATED IN ACCORDANCE WITH BS. 5422 : 2001

THERMOSTATIC CONTROL VALVES TO FITTED TO ALL NEW RADIATORS ALL ASSOCIATED PIPEWORK TO BE FULLY INSULATED TO BS 5422 : 2001

NEW RADIATORS AND BOILER TO BE POSITIONED ON SITE BY CLIENT. BOILER TO BE VENTED TO EXTERNAL AIR.

PERPEND VENTILATORS

PERPEND VENTILATORS TO BE PROVIDED TO ALL NEW EXTERNAL WALLS AT FLOOR AND CEILING LEVELS

PERPEND VENTS TO BE AT FLOOR LEVEL, BELOW SILLS, BELOW EAVES, ABOVE AND BELOW HORIZONTAL FIRE STOPS AND BELOW FIRE STOP AT TOP OF VERGES TO BOTH GABLES

CAVITY WEEP VENTS AT 1000mm CRS ABOVE CAVITY FILL LEVEL

CAVITY TO BE VENTED TO OUTSIDE BY ONE OPEN PERPEND JOINT AT MIN OF 1.2M C/C , TOP AND BOTTOM.

NEW PERPEND VENTS ABOVE FLASHING ON EXISTING REAR WALL ABOVE NEW ROOF LEVEL

▯ PERPEND VENTS AT 1200mm CRS

TRICKLE VENTILATION TO WINDOWS (minimum)

GAMES ROOM	15000 mm2
STUDIO / UTILITY	15000 mm2

MECHANICAL VENTILATION

UTILITY EXTRACT VENTILATION TO BE 150 X 150mm GREENWOOD AIRVAC EXTRACT FAN VENTED AND DUCTED THROUGH NEW CAVITY WALL TO EXTERNAL AIR BY 150MM DUCTING AS SHOWN ON PLAN FAN AND SWITCHED TO LIGHT SWITCH TO PROVIDE 30 LITRES / SECOND EXTRACT RATE + 10MIN OVERRUN. EXTRACT FAN TO BE FITTED WITH ISOLATOR SWITCH

KITCHEN EXTRACT VENTILATION BY MECHANICAL FAN 200 X 200mm BY GREENWOOD AIRVAC OR SIMILAR TO BE MOUNTED AT HIGH LEVEL ON EXTERNAL WALL AND VENTED THRO WALL TO EXTERNAL AIR TO PROVIDE MIN EXTRACTION RATE OF 60 LITRES SEC (6 AIR CHANGES / HOUR). FAN TO BE CONNECTED AND SWITCHED TO LIGHT SWITCH AND FITTED WITH ISOLATOR SWITCH

FIRE PROTECTION

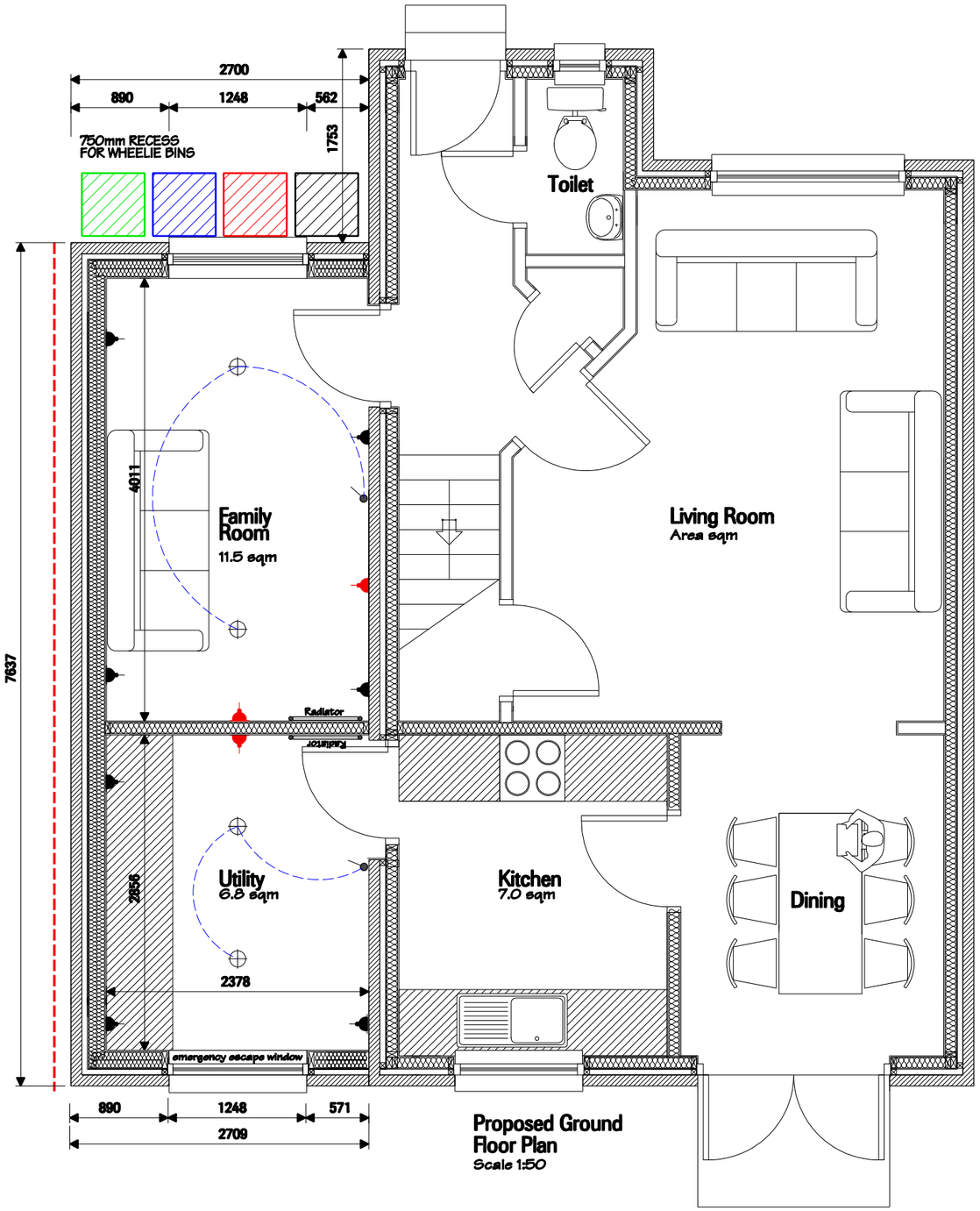
FIRE STOPS TO BE PROVIDED HORIZONTALLY BETWEEN STOREYS AND AT ALL CORNERS

15mm FIRELINE BOARD ON 12.7mm PLASTERBOARD TO INNER FACE AT BOTH FLOORS THROUGHOUT TO PROVIDE 60MIN RESISTANCE TO BOUNDARY WALL. ALL NEW SOCKETS ON BOUNDARY WALL TO FIRE BACKED / RATED OR BE SURFACE MOUNTED AND NOT RECESSED TO MAINTAIN FIRE RESISTANCE

WATER SUPPLY / FITTINGS

3.27.1 WATER EFFICIENT FITTINGS TO BE PROVIDED WITHIN ALL ACCESSIBLE SANITARY ACCOMODATION ACCESSIBLE WC'S SHALL HAVE AN AVERAGE FLUSH OF NOT MORE THAN 4.5 LITRES WHERE IT IS A DUAL OR SINGLE FLUSH SYSTEM. WASH HAND BASINS SHALL HAVE A FLOW RATE OF NOT MORE THAN 6 LITRES PER MINUTE

3.27.2 WATER EFFICEINT FITTING TO BE FITTED ON ALL NEW APPLINACES SHOWN.DUAL FLUSH CISTRENS SHOULD HAVE A FLUSH RATE OF NOT MORE THAN 4.5 LITRES.TAPS SERVING WASH HAND BASINS SHOULD HAVE A FLOW RATE OF NOT MORE THAN 6 LITRES / MINUTE



Proposed Ground Floor Plan
Scale 1:50

INSULATED CONCRETE FLOOR

22mm T & G V313 MOISTURE RESISTANT CHIPBOARD ON 130 X 50mm S.W. BEARERS AT 400mm CRS ON CONCRETE FLOOR SLAB WITH 130mm CELOTEX GA4000 INSULATING BOARD BETWEEN BEARERS TO PROVIDE MAX 0.15 W/M C ON 2000G DP MEMBRANE ON 150mm GRADE 1 HARDCORE UPFILL ON 75mm ASH BLINDING

STEPS & LANDINGS

LANDINGS REQUIRED FOR ALL STEPS THAT EXCEED 600mm. MAX RISE OF STEPS 0 BE 170mm MAX GOING 250mm. CONCRETE PLATT EXTENDED MIN 400mm BEYOND MAX SWING OF NEW DOOR IN OPENED POSITION

WALLS ABOVE DPC LEVEL

310mm NOMINAL CAVITY WALL CONSTRUCTION

INNER SKIN COMPRISING OF 60mm LOW 'E' CAVITY TF200 THERMO VAPOUR CHECK / MEMBRANE STAPLED TO 9.0mm OSB BOARDING
140mm KNAUF TIMBER ROLL 35 / 140mm TIMBER STUD VAPOUR CHECK LAYOUR
20mm CELOTEX TB4000 MULTI PURPOSE RIGID BOARD
12.5mm GYPROC WALLBOARD / PLASTERBOARD LINING TO PROVIDE MAX NEW U-ALUE OF 0.19 W/M2K

STRESS GRADED TIMBERS WITH CONTINUOUS BOTTOM AND TOP MEMBERS AND VERTICAL STUDS AT 600MM CRS FINISH WALL WITH 50mm CLEAR CAVITY.
100mm FACING BRICK DADO AND (ROUGHCAST) TO MAIN WALL TO MATCH THROUGHOUT

140 X 50 SW C16 TIMBERS FORMING BOTTOM AND TOP STUD MEMBERS FIXED TO WALL PLATE AND SOLE PLATE WITH BAT FRAMING ANCHORS AND STRAPPED TO SUB-STRUCTURE WITH BAT GALVANISED ANCHOR STRAPS AT 600MM CRS

TIMBER FRAME TO BE RAWL BOLTED TO EXISTING HOUSE BRICKWORK AND TIMBERS WHERE NECCESSARY AT EVERY 4TH COURSE

CAVITY BARRIERS TO BE INSTALLED AROUND THE EDGES OF THE CAVITY, AROUND HEAD AND JAMBS OF WINDOW. CAVITY BARRIERS TO BE INSTALLED BETWEEN ROOF AND ANY OTHER SPACE, INCLUDING WALL HEADS.

DPC'S TO BE BUILT IN CONTINUOSLY A MIN. OF 150MM ABOVE GROUND LEVEL AND UNDER ALL CILLS AND AT ALL INGOES

GROUND FLOOR RESTRAINT EXTERNAL BRICKWORK TO BE BUILT ON 1200 X 30 X 5mm M5 GALVANISED HOLDING DOWN STRAP MINIMUM 3 BRICKWORK COURSES BELOW DPC

EXTERNAL LEAF OF BRICKWORK NOT TO BE ERECTED UNTIL GROUND FLOOR HOLDING DOWN ANCHOR STRAPS ARE SECURED IN POSITION
NEW CAVITY WALLS TO BE KEYED INTO EXISTING AT LEAST AT EVERY FOURTH COURSE VERTICALLY OR BY CATNIC SUREFIX ANGLE SYSTEM

ELECTRICAL LEGEND

FITTINGS SHALL COMPLY WITH BS 5068 PART 2.

ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT 17TH EDITION REGULATIONS AS ISSUED BY THE I.E.E. TO BS 7671 : 2008 BS 5422 : 2009

6.5.1 A MINIMUM OF 75% OF THE FIXED LIGHT FITTINGS AND LAMPS INSTALLED WITHIN A DWELLING SHOULD BE LOW ENERGY TYPE WITH A LUMINOUS EFFICACY OF AT LEAST 45 LUMENS / CIRCUIT WATT SUCH AS LED AND FLOURESCENT FITTINGS

4.8.5 THE NEW LIGHT SWITCHES REQUIRE TO BE FITTED AT A HEIGHT OF BETWEEN 900mm AND 1100mm ABOVE FLOOR LEVEL

OUTLETS AND CONTROLS OF ELECTRICAL FIXTURES AND SYSTEMS TO BE POSITIONED AT LEAST 350mm FROM ANY INTERNAL CORNER. STANDARD SWITCHED OR UNSWITCHED SOCKETS OUTLETS FOR OTHER SERVICES SUCH AS TELEPHONE AND TELEVISION SHOULD BE POSITIONED AT LEAST 400mm ABOVE FIN FLOOR LEVEL, AND AT LEAST 150mm ABOVE A PROJECTING WORK SURFACE.

ELECTRICAL INSTALLATION TO BE INSTALLED IN ACCORDANCE WITH BS 7671 2008 AS AMMENDED. ELECTRICAL INSTALLATIONS TO BE INSTALLED BY A COMPETENT INSTALLER DEEMED TO BE A CURRENT MEMBER OF A UKAS ACCREDITED SCHEME SUCH AS NICEIC, ECA OR SELECT OR EQUIVALENT BODY. ELECTRICAL TEST CERTIFICATE TO BE PROVIDED UPON COMPLETION OF ALL WORKS

- CEILING ROSE (PENDANT / SPOT)
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT LOW LEVEL
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT HIGH LEVEL
- LIGHT SWITCH WALL MOUNTED
- OPTICAL SMOKE ALARMS TO CONFORM WITH BS EN 14604:2005
- HEAT DETECTOR
- HONEYWELL SF340F CARBON MONOXIDE DETECTOR AND ALARM HARDWIRED WITH BATTERY BACK UP, CEILING MOUNTED MIN 300mm FROM WALL

INTERCONNECTED SMOKE DETECTORS TO BS 5446 : PART 1 : 2000 AND BS5839: PART 6 : WIRED TO MAINS ELECTRICAL SUPPLY WITHIN 7m OF LIVING ROOM DOORS AND 3m OF BEDROOM DOORS AND 300mm FROM LIGHT FITTINGS AND ADJECENT WALLS - (BATTERY BACK UP) SMOKE DETECTION TO BS 5446 AND BS 5839

ALL ELECTRICAL FITTINGS SHALL COMPLY WITH BS 5068 PART 2.ALL OUTLET BOXES SHALL BE FORMED FROM STEEL AND SHALL COMPLY WITH BS4662 AND BE SECURELY FIXED WITH A MINIMUM OF 3 NO. 8 SCREWS 25mm LONG. CABLES RUN IN FLOOR AND WALLS SHALL BE PROTECTED BY METAL PLATING OR EQUAL & APPROVED METHOD.

NOTCHING OF TIMBERS SHALL NOT EXCEED 25MM WIRING OF SOCKETS SHALL BE CONNECTED TO RING MAIN USING 2.5 mm SQ LIVE CONDUCTORS WITH 1.5mm SQ MIN CPU. ALL SOCKETS SHALL BE SWITCHED 13 AMP MOULDED PLASTIC FLUSH 3 PIN SHUTTER PATTERN TO BS 1363 PART 2. MIN OF 6 SOCKETS TO KITCHEN AND LIVING ROOM, 4 SOCKETS TO BEDROOM. HUMIDISTAT FANS TO BE SUITABLE FOR 240 VOLT 50 HZ OPERATION FITTED WITH ISOLATOR AT HIGH LEVEL

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	PROPOSED GROUND FLOOR PLAN	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** 9 OF 12	REV D

9

UPPER FLOOR CONSTRUCTION

22mm T & G V313 MOISTURE RESISTANT CHIPBOARD

200 X 50 SW JOISTS GRADE C16 AT 400mm CRS TO UPPER FLOOR LEVEL WITH MIN 175mm QUILT LAID BETWEEN MEMBERS ON NETLON VAPOUR CHECK

EQUIVALENT SIZED SW JOIST MEMBERS RAWL BOLTED TO EXISTING REAR / GABLE WALL WITH M12 RESIN BOLTS AT 500MM CRS TO ACCOMMODATE JOIST HANGERS AND NEW FLOOR JOISTS AT 400mm CRS AS APPROPRIATE

MID FLOOR RESTRAINT 1000 X 32 X 2.5mm STANDARD HOLDING DOWN STRAP NAILED TO GROUND FLOOR AND 1ST FLOOR PANELS WITH 6 NO. 50mm X 8 SWG GALVANISED NAILS (STRAP CENTERED VERTICALLY BETWEEN GROUND FLOOR AND FIRST FLOOR PANELS). IF 6G NAILS TO BE USED SPACING OF NAILS TO BE 100MM

NEW STRUCTURAL OPENINGS

Internal Lintels to Internal Walls

WHERE NEW LINTELS ARE REQUIRED TO SPAN NEW OPENINGS WITHIN EXISTING INTERNAL BRICK WALLS , ROBESLEE TYPE C CONCRETE LINTELS TO BE USED TO SPAN EACH LEAF OF BRICK WITH MINMUM 150mm RESTS TO EACH SIDE OF OPENING.

WHERE NEW LINTELS ARE REQUIRED TO SPAN NEW OPENINGS WITHIN EXISTING INTERNAL TIMBER STUD WALLS, 2 NO 200 X 50 SW GRADE C24 TIMBERS SPIKED TOGETHER ARE TO USED TO FORM NEW LINTEL TO SPAN OPENING WITH MIN 100mm RESTS TO EACH SIDE OF OPENING

ALL LINTELS ARE DESIGNED IN ACCORDANCE WITH BS5977 : PART 1:1981, BS5977: PART 2:1983, BS8110: PART 1:1985, BS8110 : PART 2:1985. CONCRETE USED IS GRADE 50.

External Lintels to External Walls

STUDIO	CATNIC TIMBER FRAME TYPE CTF5
GAMES ROOM	CATNIC TIMBER FRAME TYPE CTF5
BEDROOM	CATNIC TIMBER FRAME TYPE CTF5
ENSUITE	CATNIC TIMBER FRAME TYPE CTF5

LINTELS TO BRICK WALLS TO BE ROBESLEE TYPE C CONCRETE LINTELS TO EACH LEAF OF BRICK WITH MINMUM 150mm RESTS TO EACH SIDE TO SPAN SIZES INDICATED.

ALL EXISTING LOAD BEARING MEMBERS TO BE FULLY PROPPED

DEMOLITIONS AND DOWNTAKINGS

ALL DEMOLITIONS AND DOWNTAKINGS TO BE CARRIED OUT IN ACCORDANCE WITH BS 6187 AND HEALTH AND SAFETY AT WORK ACT. PRIOR TO REMOVAL OF ANY LOAD BEARING OR SUPPORTING WALLS, THE STRUCTURE MUST BE ADEQUATELY PROPPED AND MUST REMAIN SO UNTIL ALL THE ALTERATION WORK IS COMPLETE AND CURED

SHORING PROCEDURE

SHORING INSTALLATION SHOULD ONLY BE CARRIED OUT BY A CONTRACTOR WHO IS EXPERIENCED IN THIS TYPE OF WORK.

1. ERECT DEAD SHORING AND INSTALL STEEL NEEDLES
2. CUT BRICKWORK AND RE-BUILD JAMBS IN SECOND CLASS ENGINEERING BRICKS TIED TOEXISTING EVERY FOURTH COURSE
3. INSTALL LINTOL BEAMS AND SLATE WEDGE THE GAP BETWEEN LINTOLS AND BRICKWORK OVER TO PRELOAD BEAMS
4. SEVEN DAYS AFTER LAST SECTION OF BRICKWORK HAS BEEN LAID REMOVE SHORES AND MAKE GOOD
5. ALL SHORING TO REMAIN IN POSITION UNTIL NEW BRICKWORK CAN SUSTAIN LOADING

HOT WATER DISCHARGE FROM SANITARY FITTINGS

1. HOT WATER WITHIN STORAGE VESSEL SHOULD BE STORED AT A TEMPERATURE OF NOT LESS THAN 60 DEG C AND DISTRIBUTED AT A TEMPERATURE OF NOT LESS THAN 55 DEG C

2. TO PREVENT SCALDING, THE TEMPERATURE OF HOT WATER, AT POINT OF DELIVERY TO A BATH OR BIDET SHOULD NOT EXCEED 48 DEG C

3. THE DEVICE OR SYSTEM LIMITING WATER TEMPERATURE SHOULD NOT COMPROMISE THE PRINCIPAL MEANS OF PROVIDING PROTECTION FROM RISKOF LEGIONELLA AND SHOULD ALLOW FLEXIBILTY IN SETTING OF A DELIVERY TEMPERATURE UP TO A MAXIMUM OF 48 DEG C IN A FORM THAT IS NOT EASILY ALTERED BY BUILDING USERS.

4. BOTH HOT AND COLD WATER ARE SUPPLIED TO A FACILITY, BY USE OF A THERMOSTATIC MIXING VALVE (TMV) COMPLYING WITH BS EN 1111 OR BS EN 1287, FITTED AS CLOSE TO THE POINT OF DELIVERY AS PRACTICABLE.

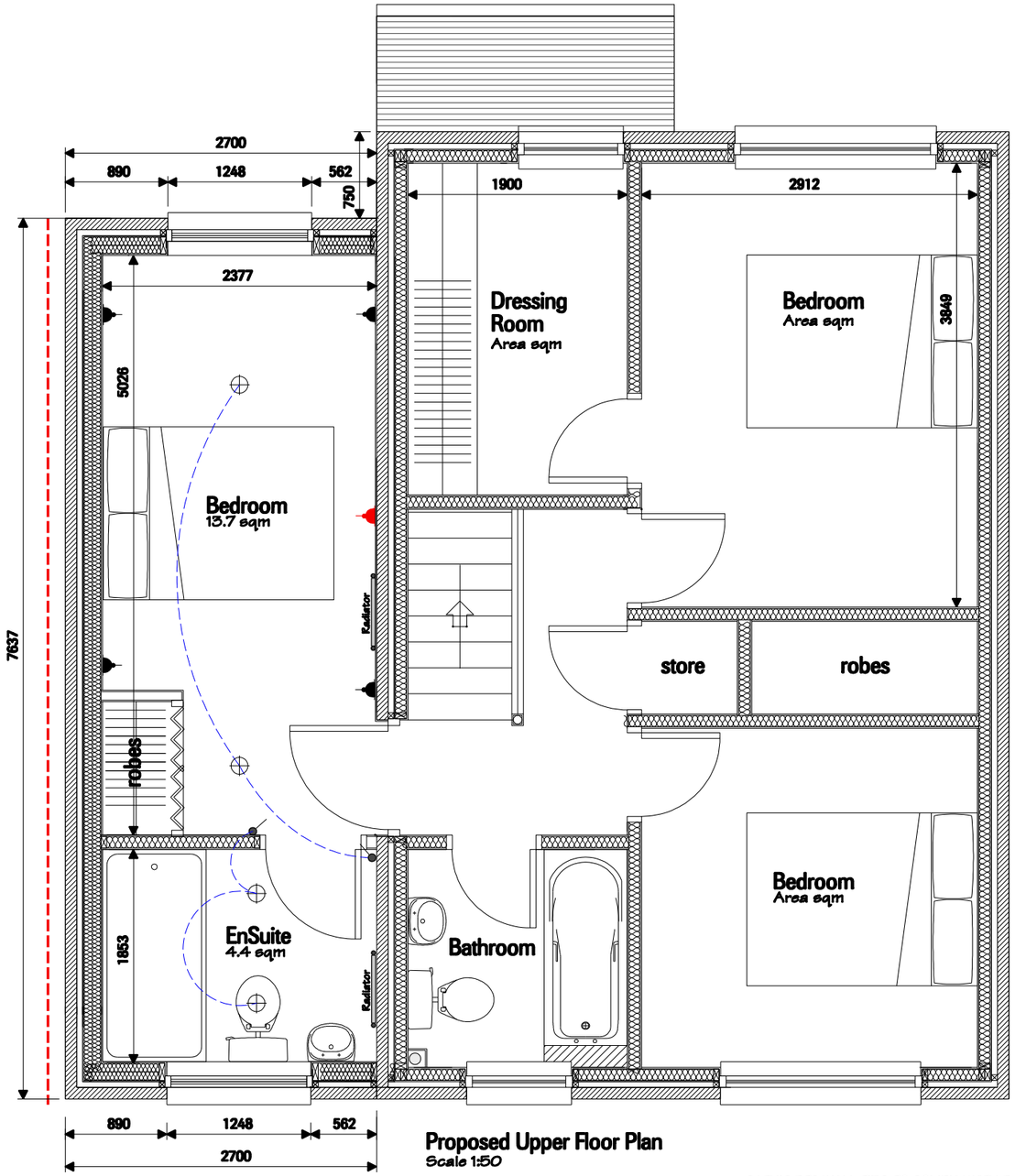
CONTROLS FOR SPACE HEATINIG SYSTEMS

1. ZONE CONTROLS : EACH PART OF THE DWELLING THAT HAS A DIFFERENT HEATING REGIME SHOULD BE FITTED WITH ZONE CONTROLS, IE AREAS FOR SLEEPING AND AREAS FOR GENERAL LIVING. ALL ROOMS TO BE FITTED WITH THERMOSTATS AND THERMOSTATIC RADIATOR VALVES.

2. TIMING CONTROLS : AUTOMATIC TIMING CONTROLS TO BE INSTALLED TO DETERMINE AND ENABLE SPACE HEATING AND WATER HEATING OPERATIONS.

3. GAS AND OIL FIRED BOILERS : SUFFICIENT SYSTEM CONTROL SHOULD BE INSTALLED IN AN ARRANGEMENT WHICH SWITCHES OFF THE BOILER WHEN THERE IS NO DEMAND FOR HEAT TO THE RADIATORS AND HOT WATER STORAGE VESSELS. A PUMP OVER-RUN TIMING DEVICE MAY BE FITTED AS REQUIREDBY THE BOILER MANUFACTURER.

4. ALL SYSTEMS TO BE INSTALLED IN CONJUNCTION WITH THE 'GOOD PRACTISE GUIDE 302



Proposed Upper Floor Plan
Scale 1:50

CATNIC BT2 WALL TIES TO COMPLY WITH BS1243 SPACING SHALL BE 600mm HORIZONTALLY 450mm VERTICALLY ADDITIONAL TIES TO BE POSITIONED AT 225mm VERTICAL SPACING AROUND OPENINGS AND WITHIN 150mm OF OPENING OR JOINT

INTERNAL WALLS

INTERNAL PARTITION TO BE 100mm X 50mm TIMBER STUDS AT 600mm CRS PLATED WITH 12.7mm PLASTERBOARD TO EACH FACE WITH 100mm QUILT INSULATION LAID BETWEEN STUDS TO PROVIDE MIN 43RWDB AND A MASS OF NOT LESS THAN 10 kg/m

WALLS ABOVE DPC LEVEL

310mm NOMINAL CAVITY WALL CONSTRUCTION

INNER SKIN COMPRISING OF 60mm LOW 'E' CAVITY TF200 THERMO VAPOUR CHECK / MEMBRANE STAPLED TO 9.0mm OSB BOARDING
140mm KNAUF TIMBER ROLL 35 / 140mm TIMBER STUD VAPOUR CHECK LAYOUR
20mm CELOTEX TB4000 MULTI PURPOSE RIGID BOARD
12.5mm GYPROC WALLBOARD / PLASTERBOARD LINING TO PROVIDE MAX NEW U-ALUE OF 0.19 W/M2K

STRESS GRADED TIMBERS WITH CONTINUOUS BOTTOM AND TOP MEMBERS AND VERTICAL STUDS AT 600MM CRS FINISH WALL WITH 50mm CLEAR CAVITY.
100mm FACING BRICK DADO AND (ROUGHCAST) TO MAIN WALL TO MATCH THROUGHOUT

140 X 50 SW C16 TIMBERS FORMING BOTTOM AND TOP STUD MEMBERS FIXED TO WALL PLATE AND SOLE PLATE WITH BAT FRAMING ANCHORS AND STRAPPED TO SUB-STRUCTURE WITH BAT GALVANISED ANCHOR STRAPS AT 600MM CRS

TIMBER FRAME TO BE RAWL BOLTED TO EXISTING HOUSE BRICKWORK AND TIMBERS WHERE NECCESSARY AT EVERY 4TH COURSE

CAVITY BARRIERS TO BE INSTALLED AROUND THE EDGES OF THE CAVITY, AROUND HEAD AND JAMBS OF WINDOW. CAVITY BARRIERS TO BE INSTALLED BETWEEN ROOF AND ANY OTHER SPACE, INCLUDING WALL HEADS.

DPC'S TO BE BUILT IN CONTINUOSLY A MIN. OF 150MM ABOVE GROUND LEVEL AND UNDER ALL CILLS AND AT ALL INGOES

GROUND FLOOR RESTRAINT EXTERNAL BRICKWORK TO BE BUILT ON 1200 X 30 X 5mm MS GALVANISED HOLDING DOWN STRAP MINIMUM 3 BRICKWORK COURSES BELOW DPC

EXTERNAL LEAF OF BRICKWORK NOT TO BE ERECTED UNTIL GROUND FLOOR HOLDING DOWN ANCHOR STRAPS ARE SECURED IN POSITION
NEW CAVITY WALLS TO BE KEYED INTO EXISTING AT LEAST AT EVERY FOURTH COURSE VERTICALLY OR BY CATNIC SUREFIX ANGLE SYSTEM

ELECTRICAL LEGEND

FITTINGS SHALL COMPLY WITH BS 5068 PART 2.

ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT 17TH EDITION REGULATIONS AS ISSUED BY THE I.E.E. TO BS 7671 : 2008 BS 5422 : 2009

6.5.1 A MINIMUM OF 75% OF THE FIXED LIGHT FITTINGS AND LAMPS INSTALLED WITHIN A DWELLING SHOULD BE LOW ENERGY TYPE WITH A LUMINOUS EFFICACY OF AT LEAST 45 LUMENS / CIRCUIT WATT SUCH AS LED AND FLOURESCENT FITTINGS

4.9.5 THE NEW LIGHT SWITCHES REQUIRE TO BE FITTED AT A HEIGHT OF BETWEEN 900mm AND 1100mm ABOVE FLOOR LEVEL

OUTLETS AND CONTROLS OF ELECTRICAL FIXTURES AND SYSTEMS TO BE POSITIONED AT LEAST 350mm FROM ANY INTERNAL CORNER. STANDARD SWITCHED OR UNSWITCHED SOCKETS OUTLETS FOR OTHER SERVICES SUCH AS TELEPHONE AND TELEVISION SHOULD BE POSITIONED AT LEAST 400mm ABOVE FIN FLOOR LEVEL, AND AT LEAST 150mm ABOVE A PROJECTING WORK SURFACE.

ELECTRICAL INSTALLATION TO BE INSTALLED IN ACCORDANCE WITH BS 7671 2008 AS AMMENDED, ELECTRICAL INSTALLATIONS TO BE INSTALLED BY A COMPETENT INSTALLER DEEMED TO BE A CURRENT MEMBER OF A UKAS ACCREDITED SCHEME SUCH AS NICEIC, ECA OR SELECT OR EQUIVALENT BODY. ELECTRICAL TEST CERTIFICATE TO BE PROVIDED UPON COMPLETION OF ALL WORKS

- CEILING ROSE (PENDANT / SPOT)
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT LOW LEVEL
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT HIGH LEVEL
- LIGHT SWITCH WALL MOUNTED
- OPTICAL SMOKE ALARMS TO CONFORM WITH BS EN 14604:2005
- HEAT DETECTOR
- HONEYWELL SF340F CARBON MONOXIDE DETECTOR AND ALARM HARDWIRED WITH BATTERY BACK UP, CEILING MOUNTED MIN 300mm FROM WALL

INTERCONNECTED SMOKE DETECTORS TO BS 5446 : PART 1 : 2000 AND BS5839: PART 6 : WIRED TO MAINS ELECTRICAL SUPPLY WITHIN 7m OF LIVING ROOM DOORS AND 3m OF BEDROOM DOORS AND 300mm FROM LIGHT FITTINGS AND ADJECENT WALLS - (BATTERY BACK UP) SMOKE DETECTION TO BS 5446 AND BS 5839

ALL ELECTRICAL FITTINGS SHALL COMPLY WITH BS 5068 PART 2.ALL OUTLET BOXES SHALL BE FORMED FROM STEEL AND SHALL COMPLY WITH BS4662 AND BE SECURELY FIXED WITH A MINIMUM OF 3 NO. 8 SCREWS 25mm LONG. CABLES RUN IN FLOOR AND WALLS SHALL BE PROTECTED BY METAL PLATING OR EQUAL & APPROVED METHOD.

NOTCHING OF TIMBERS SHALL NOT EXCEED 25MM WIRING OF SOCKETS SHALL BE CONNECTED TO RING MAIN USING 2.5 mm SQ LIVE CONDUCTORS WITH 1.5mm SQ MIN CPU. ALL SOCKETS SHALL BE SWITCHED 13 AMP MOULDED PLASTIC FLUSH 3 PIN SHUTTER PATTERN TO BS 1363 PART 2. MIN OF 6 SOCKETS TO KITCHEN AND LIVING ROOM, 4 SOCKETS TO BEDROOM. HUMIDISTAT FANS TO BE SUITABLE FOR 240 VOLT 50 HZ OPERATION FITTED WITH ISOLATOR AT HIGH LEVEL

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	PROPOSED UPPER FLOOR PLAN	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** 10 OF 12	REV C

10

UPPER FLOOR CONSTRUCTION

22mm T & G V313 MOISTURE RESISTANT CHIPBOARD

200 X 50 SW JOISTS GRADE C16 AT 400mm CRS TO UPPER FLOOR LEVEL WITH MIN 175mm QUILT LAID BETWEEN MEMBERS ON NETLON VAPOUR CHECK

EQUIVALENT SIZED SW JOIST MEMBERS RAWL BOLTED TO EXISTING REAR / GABLE WALL WITH M12 RESIN BOLTS AT 500MM CRS TO ACCOMMODATE JOIST HANGERS AND NEW FLOOR JOISTS AT 400mm CRS AS APPROPRIATE

MID FLOOR RESTRAINT 1000 X 32 X 2.5mm STANDARD HOLDING DOWN STRAP NAILED TO GROUND FLOOR AND 1ST FLOOR PANELS WITH 6 NO. 50mm X 8 SWG GALVANISED NAILS (STRAP CENTERED VERTICALLY BETWEEN GROUND FLOOR AND FIRST FLOOR PANELS). IF 6G NAILS TO BE USED SPACING OF NAILS TO BE 100MM

NEW STRUCTURAL OPENINGS

Internal Lintels to Internal Walls

WHERE NEW LINTELS ARE REQUIRED TO SPAN NEW OPENINGS WITHIN EXISTING INTERNAL BRICK WALLS , ROBESLEE TYPE C CONCRETE LINTELS TO BE USED TO SPAN EACH LEAF OF BRICK WITH MINMUM 150mm RESTS TO EACH SIDE OF OPENING.

WHERE NEW LINTELS ARE REQUIRED TO SPAN NEW OPENINGS WITHIN EXISTING INTERNAL TIMBER STUD WALLS, 2 NO 200 X 50 SW GRADE C24 TIMBERS SPIKED TOGETHER ARE TO USED TO FORM NEW LINTEL TO SPAN OPENING WITH MIN 100mm RESTS TO EACH SIDE OF OPENING

ALL LINTELS ARE DESIGNED IN ACCORDANCE WITH BS5977 : PART 1:1981, BS5977: PART 2:1983, BS8110: PART 1:1985, BS8110 : PART 2:1985. CONCRETE USED IS GRADE 50.

External Lintels to External Walls

STUDIO	CATNIC TIMBER FRAME TYPE CTF5
GAMES ROOM	CATNIC TIMBER FRAME TYPE CTF5
BEDROOM	CATNIC TIMBER FRAME TYPE CTF5
ENSUITE	CATNIC TIMBER FRAME TYPE CTF5

LINTELS TO BRICK WALLS TO BE ROBESLEE TYPE C CONCRETE LINTELS TO EACH LEAF OF BRICK WITH MINMUM 150mm RESTS TO EACH SIDE TO SPAN SIZES INDICATED.

ALL EXISTING LOAD BEARING MEMBERS TO BE FULLY PROPPED

DEMOLITIONS AND DOWNTAKINGS

ALL DEMOLITIONS AND DOWNTAKINGS TO BE CARRIED OUT IN ACCORDANCE WITH BS 6187 AND HEALTH AND SAFETY AT WORK ACT. PRIOR TO REMOVAL OF ANY LOAD BEARING OR SUPPORTING WALLS, THE STRUCTURE MUST BE ADEQUATELY PROPPED AND MUST REMAIN SO UNTIL ALL THE ALTERATION WORK IS COMPLETE AND CURED

SHORING PROCEDURE

SHORING INSTALLATION SHOULD ONLY BE CARRIED OUT BY A CONTRACTOR WHO IS EXPERIENCED IN THIS TYPE OF WORK.

1. ERECT DEAD SHORING AND INSTALL STEEL NEEDLES
2. CUT BRICKWORK AND RE-BUILD JAMBS IN SECOND CLASS ENGINEERING BRICKS TIED TOEXISTING EVERY FOURTH COURSE
3. INSTALL LINTOL BEAMS AND SLATE WEDGE THE GAP BETWEEN LINTOLS AND BRICKWORK OVER TO PRELOAD BEAMS
4. SEVEN DAYS AFTER LAST SECTION OF BRICKWORK HAS BEEN LAID REMOVE SHORES AND MAKE GOOD
5. ALL SHORING TO REMAIN IN POSITION UNTIL NEW BRICKWORK CAN SUSTAIN LOADING

HOT WATER DISCHARGE FROM SANITARY FITTINGS

1. HOT WATER WITHIN STORAGE VESSEL SHOULD BE STORED AT A TEMPERATURE OF NOT LESS THAN 60 DEG C AND DISTRIBUTED AT A TEMPERATURE OF NOT LESS THAN 55 DEG C

2. TO PREVENT SCALDING, THE TEMPERATURE OF HOT WATER, AT POINT OF DELIVERY TO A BATH OR BIDET SHOULD NOT EXCEED 48 DEG C

3. THE DEVICE OR SYSTEM LIMITING WATER TEMPERATURE SHOULD NOT COMPROMISE THE PRINCIPAL MEANS OF PROVIDING PROTECTION FROM RISKOF LEGIONELLA AND SHOULD ALLOW FLEXIBILTY IN SETTING OF A DELIVERY TEMPERATURE UP TO A MAXIMUM OF 48 DEG C IN A FORM THAT IS NOT EASILY ALTERED BY BUILDING USERS.

4. BOTH HOT AND COLD WATER ARE SUPPLIED TO A FACILITY, BY USE OF A THERMOSTATIC MIXING VALVE (TMV) COMPLYING WITH BS EN 1111 OR BS EN 1287, FITTED AS CLOSE TO THE POINT OF DELIVERY AS PRACTICABLE.

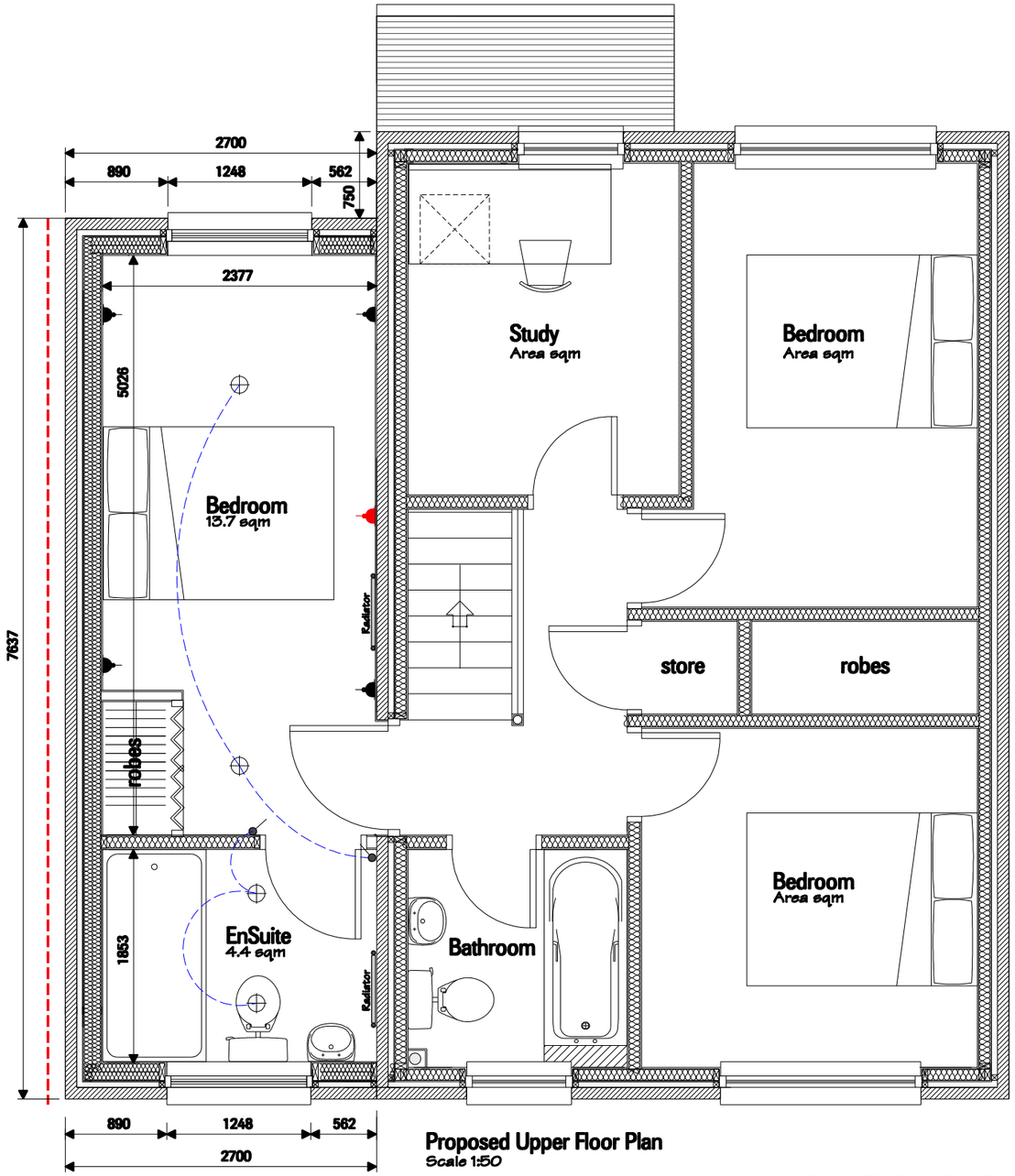
CONTROLS FOR SPACE HEATINIG SYSTEMS

1. ZONE CONTROLS : EACH PART OF THE DWELLING THAT HAS A DIFFERENT HEATING REGIME SHOULD BE FITTED WITH ZONE CONTROLS, IE AREAS FOR SLEEPING AND AREAS FOR GENERAL LIVING. ALL ROOMS TO BE FITTED WITH THERMOSTATS AND THERMOSTATIC RADIATOR VALVES.

2. TIMING CONTROLS : AUTOMATIC TIMING CONTROLS TO BE INSTALLED TO DETERMINE AND ENABLE SPACE HEATING AND WATER HEATING OPERATIONS.

3. GAS AND OIL FIRED BOILERS : SUFFICIENT SYSTEM CONTROL SHOULD BE INSTALLED IN AN ARRANGEMENT WHICH SWITCHES OFF THE BOILER WHEN THERE IS NO DEMAND FOR HEAT TO THE RADIATORS AND HOT WATER STORAGE VESSELS. A PUMP OVER-RUN TIMING DEVICE MAY BE FITTED AS REQUIREDBY THE BOILER MANUFACTURER.

4. ALL SYSTEMS TO BE INSTALLED IN CONJUNCTION WITH THE 'GOOD PRACTISE GUIDE 302



Proposed Upper Floor Plan
Scale 1:50

CATNIC BT2 WALL TIES TO COMPLY WITH BS1243 SPACING SHALL BE 600mm HORIZONTALLY 450mm VERTICALLY ADDITIONAL TIES TO BE POSITIONED AT 225mm VERTICAL SPACING AROUND OPENINGS AND WITHIN 150mm OF OPENING OR JOINT

INTERNAL WALLS

INTERNAL PARTITION TO BE 100mm X 50mm TIMBER STUDS AT 600mm CRS PLATED WITH 12.7mm PLASTERBOARD TO EACH FACE WITH 100mm QUILT INSULATION LAID BETWEEN STUDS TO PROVIDE MIN 43RWDB AND A MASS OF NOT LESS THAN 10 kg/m

WALLS ABOVE DPC LEVEL

310mm NOMINAL CAVITY WALL CONSTRUCTION

INNER SKIN COMPRISING OF 60mm LOW 'E' CAVITY TF200 THERMO VAPOUR CHECK / MEMBRANE STAPLED TO 9.0mm OSB BOARDING
140mm KNAUF TIMBER ROLL 35 / 140mm TIMBER STUD VAPOUR CHECK LAYOUR
20mm CELOTEX TB4000 MULTI PURPOSE RIGID BOARD
12.5mm GYPROC WALLBOARD / PLASTERBOARD LINING TO PROVIDE MAX NEW U-ALUE OF 0.19 W/M2K

STRESS GRADED TIMBERS WITH CONTINUOUS BOTTOM AND TOP MEMBERS AND VERTICAL STUDS AT 600MM CRS FINISH WALL WITH 50mm CLEAR CAVITY.
100mm FACING BRICK DADO AND (ROUGHCAST) TO MAIN WALL TO MATCH THROUGHOUT

140 X 50 SW C16 TIMBERS FORMING BOTTOM AND TOP STUD MEMBERS FIXED TO WALL PLATE AND SOLE PLATE WITH BAT FRAMING ANCHORS AND STRAPPED TO SUB-STRUCTURE WITH BAT GALVANISED ANCHOR STRAPS AT 600MM CRS

TIMBER FRAME TO BE RAWL BOLTED TO EXISTING HOUSE BRICKWORK AND TIMBERS WHERE NECCESSARY AT EVERY 4TH COURSE

CAVITY BARRIERS TO BE INSTALLED AROUND THE EDGES OF THE CAVITY, AROUND HEAD AND JAMBS OF WINDOW. CAVITY BARRIERS TO BE INSTALLED BETWEEN ROOF AND ANY OTHER SPACE, INCLUDING WALL HEADS.

DPC'S TO BE BUILT IN CONTINUOSLY A MIN. OF 150MM ABOVE GROUND LEVEL AND UNDER ALL CILLS AND AT ALL INGOES

GROUND FLOOR RESTRAINT EXTERNAL BRICKWORK TO BE BUILT ON 1200 X 30 X 5mm MS GALVANISED HOLDING DOWN STRAP MINIMUM 3 BRICKWORK COURSES BELOW DPC

EXTERNAL LEAF OF BRICKWORK NOT TO BE ERECTED UNTIL GROUND FLOOR HOLDING DOWN ANCHOR STRAPS ARE SECURED IN POSITION
NEW CAVITY WALLS TO BE KEYED INTO EXISTING AT LEAST AT EVERY FOURTH COURSE VERTICALLY OR BY CATNIC SUREFIX ANGLE SYSTEM

ELECTRICAL LEGEND

FITTINGS SHALL COMPLY WITH BS 5068 PART 2.

ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT 17TH EDITION REGULATIONS AS ISSUED BY THE I.E.E. TO BS 7671 : 2008 BS 5422 : 2009

6.5.1 A MINIMUM OF 75% OF THE FIXED LIGHT FITTINGS AND LAMPS INSTALLED WITHIN A DWELLING SHOULD BE LOW ENERGY TYPE WITH A LUMINOUS EFFICACY OF AT LEAST 45 LUMENS / CIRCUIT WATT SUCH AS LED AND FLOURESCENT FITTINGS

4.8.5 THE NEW LIGHT SWITCHES REQUIRE TO BE FITTED AT A HEIGHT OF BETWEEN 900mm AND 1100mm ABOVE FLOOR LEVEL

OUTLETS AND CONTROLS OF ELECTRICAL FIXTURES AND SYSTEMS TO BE POSITIONED AT LEAST 350mm FROM ANY INTERNAL CORNER. STANDARD SWITCHED OR UNSWITCHED SOCKETS OUTLETS FOR OTHER SERVICES SUCH AS TELEPHONE AND TELEVISION SHOULD BE POSITIONED AT LEAST 400mm ABOVE FIN FLOOR LEVEL, AND AT LEAST 150mm ABOVE A PROJECTING WORK SURFACE.

ELECTRICAL INSTALLATION TO BE INSTALLED IN ACCORDANCE WITH BS 7671 2008 AS AMMENDED, ELECTRICAL INSTALLATIONS TO BE INSTALLED BY A COMPETENT INSTALLER DEEMED TO BE A CURRENT MEMBER OF A UKAS ACCREDITED SCHEME SUCH AS NICEIC, ECA OR SELECT OR EQUIVALENT BODY. ELECTRICAL TEST CERTIFICATE TO BE PROVIDED UPON COMPLETION OF ALL WORKS

- CEILING ROSE (PENDANT / SPOT)
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT LOW LEVEL
- 13 AMP DOUBLE SOCKET OUTLET SWITCHED AT HIGH LEVEL
- LIGHT SWITCH WALL MOUNTED
- OPTICAL SMOKE ALARMS TO CONFORM WITH BS EN 14604:2005
- HEAT DETECTOR
- HONEYWELL SF340F CARBON MONOXIDE DETECTOR AND ALARM HARDWIRED WITH BATTERY BACK UP, CEILING MOUNTED MIN 300mm FROM WALL

INTERCONNECTED SMOKE DETECTORS TO BS 5446 : PART 1 : 2000 AND BS5839: PART 6 : WIRED TO MAINS ELECTRICAL SUPPLY WITHIN 7m OF LIVING ROOM DOORS AND 3m OF BEDROOM DOORS AND 300mm FROM LIGHT FITTINGS AND ADJECENT WALLS - (BATTERY BACK UP) SMOKE DETECTION TO BS 5446 AND BS 5839

ALL ELECTRICAL FITTINGS SHALL COMPLY WITH BS 5068 PART 2.ALL OUTLET BOXES SHALL BE FORMED FROM STEEL AND SHALL COMPLY WITH BS4662 AND BE SECURELY FIXED WITH A MINIMUM OF 3 NO. 8 SCREWS 25mm LONG. CABLES RUN IN FLOOR AND WALLS SHALL BE PROTECTED BY METAL PLATING OR EQUAL & APPROVED METHOD.

NOTCHING OF TIMBERS SHALL NOT EXCEED 25MM WIRING OF SOCKETS SHALL BE CONNECTED TO RING MAIN USING 2.5 mm SQ LIVE CONDUCTORS WITH 1.5mm SQ MIN CPU. ALL SOCKETS SHALL BE SWITCHED 13 AMP MOULDED PLASTIC FLUSH 3 PIN SHUTTER PATTERN TO BS 1363 PART 2. MIN OF 6 SOCKETS TO KITCHEN AND LIVING ROOM, 4 SOCKETS TO BEDROOM. HUMIDISTAT FANS TO BE SUITABLE FOR 240 VOLT 50 HZ OPERATION FITTED WITH ISOLATOR AT HIGH LEVEL

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	PROPOSED UPPER FLOOR PLAN	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** 10 OF 12	REV C

10

Existing Gable Elevation

Scale 1:50

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

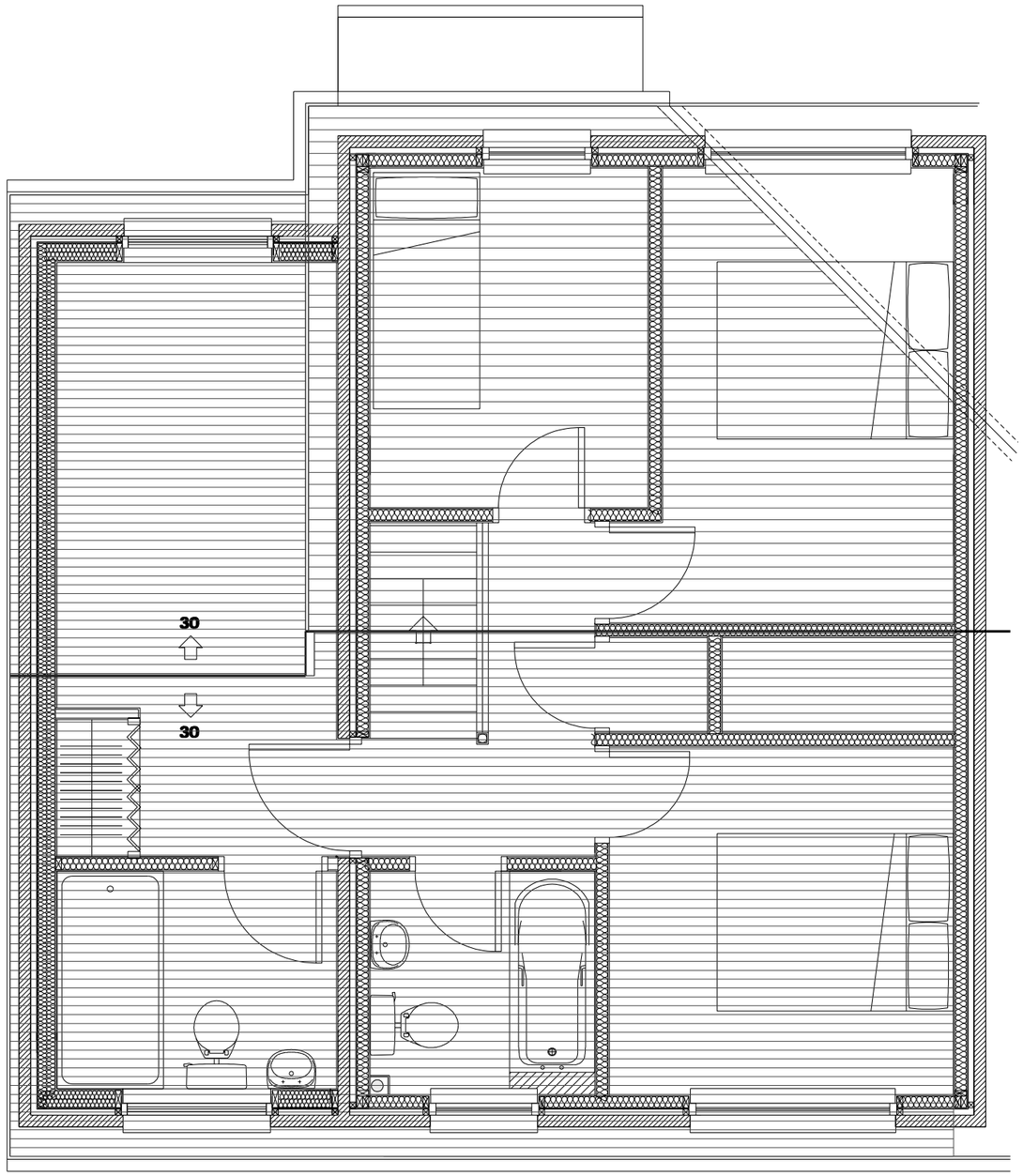
SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE** 1:50	BM1635
TITLE	EXISTING GABLE ELEVATION	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.** 11 OF 12	REV C



ROOF CONSTRUCTION

PREFABRICATED TIMBER ROOF TRUSSESS AT 600mm CENTRES. PITCH TO BE AT 30 DEG PITCH. BUILDER MUST CHECK PITCH AND DIMENSIONS ON SITE BEFORE ORDERING TRUSSES

ALL NEW TRUSSESS TO COMPLY WITH THE COMMON TRUSSED RAFTER CONFIGURATIONS FROM BS:5268: PART3 TRUSS TO BE SIZED BY MANUFACTURER AND CERTIFICATE TO BE DELIVERED UPON TRUSSES BEING DELIVERED TO SITE

TIMBER ROOF TRUSSES TO BE TIED TO WALL PLATE WITH CATNIC GALVANISED METAL STRAPS AT 600mm CENTRES AND TAKEN OVER FIRST 3 TRUSSES AT JUNCTION WITH EXISTING GABLE

MARLEY MODERN PLAIN INTERLOCKING CONCRETE ROOF TILE TO MATCH EXISTING OR SIMILAR ON BATTENS 38 X 50mm AT 250 CENTRES ON COUNTER BATTENS 38 X 50mm AT 600 CENTRES ON 1 LAYER OF REINFORCED ROOFING FELT ON 12.7mm BITUMEN IMPREGNATED SARKING ON TRUSSES AS ABOVE

UNIVERSAL ANGLE RIDGE TILE TO MATCH EXISTING WITH MATCHING REDLAND DRY VENT RIDGE SYSTEM REDLAND DRY EAVES SYSTEM TO EAVES

MINIMUM 100mm HEADLAP ; MINIMUM GUAGE 318mm

HORIZONTAL CEILING : MIN 150mm KNAUF QUILT INSULATION EARTHWOOL ROLL 44 LAID BETWEEN NEW CEILING JOISTS AND CROSS LAPPED WITH 200mm KNAUF QUILT INSULATION EARTHWOOL ROLL 44 QUILT TO PROVIDE TOTAL OF 350mm QUILT INSULATION TO NEW CEILING AREA TO PROVIDE MAX U-VALUE OF 0.13 W/M2K

CODE 4 LEAD FLASHINGS THROUGHOUT

20mm CONTINUOS GLIDEVALE SOFFIT VENTILATOR ON ALL NEW EAVES TO VENT NEW ROOF SPACE

LONGITUDINAL BRACING
ALL 100 X 50 SC3 LONGITUDINAL BRACING TO BE NAILED TO EVERY TRUSSED RAFTER THEY CROSS USING 2 NO. 3.5mm DIA X 65mm LONG GALAVANISED ROUND WIRE NAILS. ANY BRACING LAPS TO GO OVER 2 TRUSSES WITH 100mm OVERHANG

MS GALVANISED STEEL STRAPS /TIES AT 600MM CRS TAKEN FROM WALL OVER FIRST 3 RAFTERS

ROOF TRUSS DOCQUET ALL OF THE ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED BY A SPECIALIST ROOF TRUSS MANUFACTURER IN ACCORDANCE WITH BS 5268 PART 3 1985. THE LOADINGS IN ADDITION TO TANK LOADINGS ARE AS FOLLOWS : RAFTER DEAD = 0.7 KN/m2
RAFTER IMPOSED - 0.75 KN/m2
CEILING TIE DEAD = 0.18KN/m2
CEILING TIE IMPOSED = 0.25KN/m2
BASIC WIND LOAD 51 m/s CAT 3 (B)

BRACING HOLDING DOWN AND RESTRAINT DETAILS NECESSARY FOR THE OVERALL STRUCTURAL STABILITY ARE DETAILED ON THE ACCOMPANYING DRAWINGS

PROPRIETARY TRUSS CLIPS USED TO FIX TRUSS TO WALL PLATE, FIX IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS

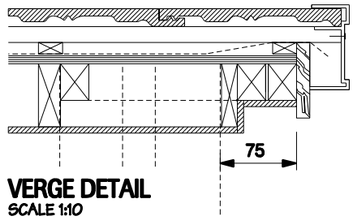
RACKING STRENGTH TO BE PROVIDED BY A MIN. 12mm PLYWOOD SHEETING WITH PERIMETER NAILS AT 150mm CENTRES AND AT 300mm CENTRES ON INTERNAL STUDS

THE HOLDING DOWN STRAPS , 30mm X 2.5 mm TO BE ATTACHED TO THE STUD BY 6 NO. 3.36mm X 65mm RING SHANK NAILS AT 2.4M CENTRES AT EVERY OPENING AND AT THE END OF A WALL

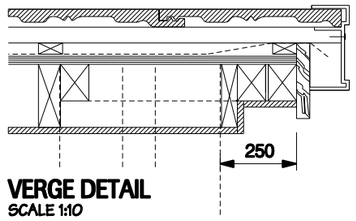
MARLEY MODERN OR SIMILAR

MARLEY MODERN OR SIMILAR

Overall size	418 x 332mm
Minimum pitch	30^ at 75mm headlap (granular)
Colour	30 Slate Grey
Linear cover	300mm
Covering capacity	10.5 tiles/m^2 at 100mm headlap
Laid weight	0.49kN/m^2 at 100mm headlap



VERGE DETAIL
SCALE 1:10



VERGE DETAIL
SCALE 1:10

ALL DIMENSIONS TO BE VERIFIED ON SITE , CHECKED AND CONFIRMED BY BUILDER PRIOR TO MATERIAL ORDER AND CONTRACT START + ALL SITE DIMENSIONS & SETTING OUT DIMENSIONS ARE RESPONSIBILITY OF THE BUILDER.

THIS DRAWING IS COPYRIGHTED TO BM DESIGN AND MUST NOT BE REPRODUCED IN ANY WAY WITHOUT PRIOR CONSENT. IF YOU ARE IN DOUBT ABOUT ANY OF THE INFORMATION DETAILED ON THIS DRG PLEASE CALL US ON 07877269321.

bm design
Room 55 14 STROUD ROAD
Kelvin Industrial Estate
East Kilbride G75 0YA
Tel : 07877269321

SCALE 1m 2m 3m 4m

THIS IS THE PRINCIPAL / A TRUE COPY OF THE PLANS REFERRED TO IN THE ACCOMPANYING APPLICATION FOR PLANNING PERMISSION AND BUILDING WARRANT

APPLICANT
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

SITE ADDRESS
Mr & Mrs DEREK HAUGHEY
15 REAY AVENUE, SPRINGBANK
EAST KILBRIDE G74 1QT

PROJECT	PROPOSED 2 STOREY GABLE EXTENSION	**DATED**	18th November 2018	**SCALE**	1:50	BM1635	12
TITLE	PROPOSED ROOF PLAN	**SIGNED**	Mr & Mrs DEREK HAUGHEY	**DRG NO.**	12 OF 12	REV C	

Haughey, Derek Wed 5 Jun 11:00
to lisa.cameron.mp@parliament.uk
cc Bm Design

Proposed Extension

Dear Mrs Cameron

We are constituents of your ward in East Kilbride and are writing to you as our local MP to request your assistance with an ongoing situation we have been trying to resolve directly with South Lanarkshire Councils Planning Department. Despite our best efforts and attempts to find a common sense solution with South Lanarkshire Councils Planning department our proposal to extend our semi-detached property at 15 Reay Avenue, Springbank Gardens, East Kilbride G74 1QT has been undetermined after four months since formally submitting our application.

My wife and I, through a local Architect BM Design submitted a planning application for a two storey side extension to provide a larger family home for our two children. The decision to extend our home, was our only option considering the property prices for something of a similar size and having lived in East Kilbride for over 47 years, with my parents and working in East Kilbride Rolls Royce (until it recently relocated to Inchinan, Glasgow) we have been an active part of our community and did not want to leave the only home our children have ever known.

The current situation is our application has been with the Head of Planning at South Lanarkshire Council Gwen McCracken and despite our extension being in keeping with the rest of the properties within the estate, we believe that the planning department are not applying the same design criteria to our proposed extension.

Within our estate, we believe a precedent has already been set as four other residents have built two storey extensions to the same size and design as our proposal.

My wife and I, and our Architect feel that the planning department are now making it very difficult for us to proceed with what we felt was a very straight forward planning application.

Both our Architect and the Building Contractor have expressed their concerns over the decision making process and are unable to understand why our application has not been approved.

The whole process has been terribly stressful and causing unnecessary strain on our home life and we cannot see a way to resolve this matter and would really appreciate if you could provide any advice or assistance to remedy this matter and support our application.

We as a family would like to raise our children and build for their futures within East Kilbride as they both grow up.

We would welcome the opportunity to discuss the above with you further and look forward to hearing from you at your earliest convenience.

Yours faithfully
Mr & Mrs Haughey
15 Reay Avenue
Springbank Gardens
East Kilbride

G74 1QT

[redacted]

The data contained in, or attached to, this e-mail, may contain confidential information. If you have received it in error you should notify the sender immediately by reply e-mail, delete the message from your system and contact +44 (0) 3301235850 (Security Operations Centre) if you need assistance. Please do not copy it for any purpose, or disclose its contents to any other person.

An e-mail response to this address may be subject to interception or monitoring for operational reasons or for lawful business practices.

(c) 2019 Rolls-Royce plc

Registered office: 62 Buckingham Gate, London SW1E 6AT Company number: 1003142. Registered in England.

Planning and Building Standards
South Lanarkshire Council
By email to Tina Meikle

Date: 27/09/2019
Our Ref: ZA11540/ SH

Dear Sir/Madam,

I am writing in support of my constituents, Mr and Mrs Haughey 15 Reay Avenue, Springbank Gardens, East Kilbride, G74 1QT.

Mr and Mrs Haughey applied for planning permission regarding an expansion to their house, similar to other houses in the area to provide further space for their family. However, the application was declined.

Mr and Mrs Haughey have since made changes to their proposal as suggested, by the Council.

I hope you will consider the changes made to the plans to facilitate progress on this important issue.

Yours Sincerely,

[redacted]

Dr Lisa Cameron MP
SNP Spokesperson on Mental Health
Chair APPG Disability
Member of Health Select Committee &
Commons Reference Group on Representation and Inclusion
Director Industry & Parliament Trust

Dr Lisa Cameron MP is registered as a data controller with the UK Information Commissioner. Any personal data you provide will be handled under the requirements of the EU General Data Protection Regulation (GDRP) and the Data Protection Act 2018. If you would like to find out how your data is collected and used or what your rights are in relation to this data, please reply to this email requesting a copy of the office privacy notice. If you would like more information on GDPR please visit https://ico.org.uk/

It is a requirement of the House of Commons Registrar for Dr Lisa Cameron, to advise that her husband Mark Horsham is an elected member with South Lanarkshire

Proposal Details

Proposal Name	100144222
Proposal Description	PROPOSED 2 STOREY GABLE EXTENSION
Address	, 15 REAY AVENUE, EAST KILBRIDE, GLASGOW, G74 1QT
Local Authority	South Lanarkshire Council
Application Online Reference	100144222-003

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
Letter of Support from Dr Lisa Cameron MP	Attached	A4
Statement of Reasons	Attached	A4
Letter to local MP for Support	Attached	A4
1 - LOCATION PLAN	Attached	A3
4 EXISTING FLOOR PLANS	Attached	A3
2 NEW EXISTING BLOCK PLAN	Attached	A3
3 NEW PROPOSED BLOCK PLAN	Attached	A3
5 EXISTING FRONT AND REAR ELEVATIONS	Attached	A3
6 NEW PROPOSED FRONT ELEVATION	Attached	A3
7 PROPOSED REAR ELEVATION	Attached	A3
8 PROPOSED GABLE ELEVATION	Attached	A3
9 NEW PROPOSED GROUND FLOOR PLAN	Attached	A3
9 NEW PROPOSED GROUND FLOOR PLAN ALTERNATIVE	Attached	A3
10 PROPOSED UPPER FLOOR PLAN	Attached	A3
10 PROPOSED UPPER FLOOR PLAN ALTERNATIVE	Attached	A3
11 EXISTING GABLE ELEVATION	Attached	A3

12 PROPOSED ROOF PLAN	Attached	A3
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-003.xml	Attached	A0

Appendix 6

3f

Further Representations

Further Representation From

- Statement of Observations from Planning Officer on Applicant's Notice of Review

STATEMENT OF OBSERVATIONS

3f

Planning Application No. P/19/0316

Erection of two storey side extension with associated alterations

15 Reay Avenue, East Kilbride, G74 1QT

1.0 Planning Background

1.1 A planning application was submitted by Mr Derek Haughey to South Lanarkshire Council on 27 February 2019 seeking permission for the erection of a two storey extension to the side of the existing semi-detached dwellinghouse at 15 Reay Avenue, East Kilbride. Following receipt of the relevant fee, the application was validated on 11 March 2019. After due consideration of the application in terms of the Local Development Plan and all other material planning considerations, the planning application was refused by the Council under delegated powers on 08 July 2019. The report of handling dated 08 July 2019 explains the decision and the reasons for refusal are listed in the decision notice. These documents are available elsewhere in the papers.

1.2 It should also be noted that an earlier application was submitted for a similar two storey side extension at this property in November 2018 (Reference P/18/1662). This application was never validated or progressed formally, as concerns were raised by the Planning Service with the appointed agent with regards to the scale and design of the proposal. As part of the informal pre-application discussions with the agent, this Service suggested that a single storey extension would be more acceptable in this location and advised upon the relevant policies and guidance applicable to side extensions.

2.0 Assessment against the development plan and other relevant policies

2.1 Section 25 of the Town and Country Planning (Scotland) Act 1997, as amended requires that an application for planning permission is determined in accordance with the development plan unless material considerations indicate otherwise.

2.2 The development plan in this instance comprises the South Lanarkshire Local Development Plan (adopted 2015) and it's associated Supplementary Guidance documents. The site is identified as being located within an established residential area where Policy 6 – General urban areas/settlements applies. This policy covers most residential areas and it states that developments will not be permitted if they are detrimental to the amenity of residents. Each proposal will be judged on its own merits with particular consideration given to the impact on the overall amenity of the area and parking arrangements, as appropriate.

2.3 Policy 4 - Development Management and Placemaking is relevant to the assessment of this proposal, as it is to all planning applications. This states that all proposals will require to take account of and be integrated with the local context and built form and that development proposals should have no significant adverse impact on the local community.

2.4 The policies contained within the Development Management, Placemaking and Design Supplementary Guidance (2015) provide further details on the Council's policies with regards to householder development, including house extensions. Policy DM1 – Design states that the design and layout of new development will be assessed in relation to relevant design criteria including, with householder extensions, the criteria set out in Policy DM2.

2.5 Policy DM2 – House extensions and alterations provides detailed guidance on the type, design and scale of house extensions that are generally considered to be acceptable. This states that house extensions will be considered favourably where it can be demonstrated that the proposal complies with a set criteria. The siting, form, scale, design and materials used should respect the character of the existing dwelling and wider area, and the proposed extension should not dominate or overwhelm the existing dwelling, neighbouring properties of the street scene. The extension should also not significantly affect adjacent properties in terms of overlooking or a loss of light, and adequate car parking, useable garden ground and bin storage should be retained. With regards to two storey side extensions, there is also specific detailed guidance associated with this policy. This includes the provision that the extension should be set back 1 metre from the front elevation and from side boundaries by a minimum of 1 metre. The design should also be such

that it would not, if repeated on other properties, result in the formation of a continuous terrace and the ridge line should be set below the existing ridge, with the eaves line carried through from the existing adjoining property.

2.6 On 29th May 2018 the Planning Committee approved the proposed South Lanarkshire Local Development Plan 2 (Volumes 1 and 2) and Supporting Planning Guidance on Renewable Energy. The new plan builds on the policies and proposals contained in the currently adopted South Lanarkshire Local Development Plan. For the purposes of determining planning applications the proposed South Lanarkshire Local Development Plan 2 is now a material consideration. In this instance Policies 3 – General Urban Areas and Settlements, 5 – Development Management and Placemaking, DM1 – New Development Design and DM2 – House Extensions and Alterations are relevant to the assessment of this application. It is noted that these specific policies are broadly consistent with the current adopted South Lanarkshire Local Development Plan.

2.7 The proposal fails to comply with Policies 4, 6, DM1 and DM2 of the adopted Local Development Plan, and with Policies 3, 5, DM1 and DM2 of the proposed Local Development Plan 2, for the reasons set out in the report of handling associated with the application. In summary, the proposed extension would have a significant adverse impact upon adjacent dwellings and the streetscape in terms of its size, scale and proximity to the side boundary. It fails to comply with the Councils guidance that such large extensions should be set back at least one metre from the side boundary, to avoid a terracing effect if repeated on neighbouring properties, and it is not set back sufficiently from the existing front building line. Overall the proposal is considered to be overdevelopment of the site and its size would be out of character with other properties in the street, with the proposal also having an adverse impact upon the streetscape of the area. In addition, no details of appropriate bin storage had been provided at the time the application was refused (given that there would no longer be a side access to the back garden) and there is insufficient space to practically provide three off-street parking spaces (minimum 5m by 2.5m spaces) which would be the minimum required for a house of this size.

2.8 The agent, on behalf of the appellant, has submitted a number of drawings with the review that it should be noted are slightly different to those which were refused by this Service. The amendments are relatively minor in scale and appear to have

been included to help respond to matters raised in the Officer Report. They relate primarily to the potential inclusion of a bin store to the front of the enlarged property, which was not shown on the original proposals, and to the change in description of some of the rooms. The site plan has also been slightly amended which suggests that there may be more space to the front of the property than was shown on the drawings on which this application was refused. However, there is still insufficient space to the front of the property to practically provide the three off-street parking spaces (minimum 5m by 2.5m spaces) that this size of dwelling would require.

3.0 Observations on applicants Notice of Review

3.1 Through their agent, the applicants have submitted a statement to support their review. This was submitted partly to respond to the matters raised in the Officer Report. The grounds are summarised below:

(a) The agent has requested a review of the refusal of permission as the original plans have been modified in accordance with the delegated report dated 08 July 2019 to address the concerns raised.

Response: The amendments to the drawings are relatively minor and do not resolve the fundamental issues of the overdevelopment of the site. Notwithstanding this, a local review requires the application to be considered based on the proposal that has been determined. If the applicant/agent intended to significantly alter the proposal, there is the option to submit an amended planning application to the Planning Service for consideration.

(b) The plans have been revised and the proposed extension is set back 1.75m from the front elevation. The roof ridge on the extension has also been reduced by 0.14m from that of the existing house, reducing the perception of a "continuous terraced effect".

Response: The plans were revised from the drawing submitted for the original application which was not progressed (P/18/1662), however the refusal was already based on these amended drawings. Whilst the extension is set back from the front building line (the projecting single storey front porch), it is set less than a metre back from the main front elevation (living room wall and window). In addition, it is not set significantly below the

ridge line or back from the side boundary. For these reasons, it is considered that it does not comply with the Councils specific guidance on two storey side extensions and that, if repeated on the neighbouring property, a continuous terrace effect may be created.

(c) The neighbouring property (No. 17) is located 1.4m from the side boundary, whilst this property is over 2.8m from the side boundary. It is considered to be unrealistic that the property at No. 17 would also extend their property to the side as the potential internal space created would be less than 1 metre in width.

Response: It is noted that there is relatively little space between the existing side elevation of No. 17 and the side boundary, however it is not impossible that this space would be used in the future as part of a wider extension or alteration to the property. In addition, whilst each application is assessed on its own merits, the Planning Service seeks to act in compliance with the established policies and guidance to ensure that all applicants are treated in a fair and consistent manner.

(d) The position of No. 17 is set back from the position of the applicant's property and the two properties are not coplanar. In addition, the applicant and neighbours properties (No. 17) do not share a common roof shape with the profiles at 90 degrees. This reduces the perception of a "continuous terraced effect".

Response: Whilst it is noted that the two properties do not share a common building line, with No. 17 being set back slightly in relation to the applicant property, the erection of a two storey side extension to the boundary would still infill the majority of the space between the two properties and could lead to a terracing effect in the future. In addition, whilst the two do not share a common roof shape, the scale of a two storey extension could form a terrace effect in itself. The very fact that the applicants property sits forward within the site also creates further issues, in that there is insufficient space to the front of the property to provide the required three parking spaces.

(e) The proposals are intended to enhance the accommodation of the 4 people currently living at the property, not to create additional sleeping

accommodation. As such, the plans have been amended to accommodate 2 parking spaces. This provision is not uncommon throughout East Kilbride and the hard standing area provides a low-maintenance amenity space for the occupiers.

Response: Whilst the current occupiers of this property may not intend to form additional bedrooms, the extension would be a permanent extension to the property and there is no practical control on how the house could be used by future occupiers. The proposal would effectively increase the number of bedrooms within the property from three to five. The minimum parking provision for this size of property is three spaces (minimum 2.5m by 5m spaces), to avoid significant on-street parking that would impact upon the amenity of the area. This cannot be provided at the property. Whilst many older areas of East Kilbride were built without this level of parking provision, and have consequently seen on-street parking becoming more of an issue, this street is modern and has been built to these standards. In addition, covering the whole front garden with hardstanding may be low-maintenance, but its appearance would be out of character in the street.

(f) The document submitted in support of the application highlighted a property in Malcolm Gardens, where a two storey extension was erected to the side of the original property and there was only sufficient off-street parking for two cars.

Response: The specific property mentioned is a mid-terrace dwellinghouse. However, having checked our records of two storey extensions in this street that have been approved under the same guidance that was used to assess this proposal, I would advise that sufficient space remains available to provide three off-street parking spaces where required at each property. This would not be the case with the applicant's house. In addition, these extensions were made to properties where there was no prospect of a terracing effect being created due to the layout of the street.

(g) The revised drawings show that the bin storage area will be recessed back from the original property building line and will be screened to minimise the aesthetic impact to the front of the dwelling.

Response: It is noted that a bin store or screen is shown on a number of the drawings submitted for this review. These were not present on the final drawings that this refusal was based on. A suitable bin store would be required to accommodate the 4 wheelie bins since there would no longer be a side access to the rear garden and, if the proposal had otherwise been considered acceptable, these matters may have been included as a condition on any planning consent.

(h) The proposal is intended to enhance the living accommodation of the family that have resided at this property since it was first built. The family are active in the community and do not wish to have to relocate elsewhere to gain the living space they need.

Response: It is noted that the family have lived at this property for some time and that they may be active in the community, however these matters are not material planning considerations and the planning assessment is based on whether or not the proposal complies with the relevant policies and guidance. Unfortunately in this instance, the proposal represents an overdevelopment of the site.

4.0 Conclusions

4.1 In summary, the proposed development does not accord with the provisions of the adopted Local Development Plan and the relevant associated supplementary guidance, or with the provisions of the proposed Local Development Plan 2 relating to householder extensions. In addition, there are no material considerations which outweigh the provisions of the development plan. It is therefore respectfully requested that the Review Body refuse planning permission for the proposed development.